



CITY OF NORTH RIDGEVILLE

PLANNING COMMISSION



Chairman Jim Smolik
Vice-Chairwoman Jennifer Swallow
Member Jason R. Jacobs

7307 Avon Belden Road
North Ridgeville, Ohio 44039
(440) 353-0513

Member Steve Ali
Council Liaison Bruce F. Abens

PLANNING COMMISSION RECOMMENDATIONS TO COUNCIL

The following appeared before Planning Commission at the **TUESDAY, APRIL 14, 2020** regular meeting. Planning Commission's recommendations are noted after each application.

- APPLICANT:** Ryan Schultheiss; Root Development and Construction, LLC
36097 Westminister Ave, North Ridgeville, Ohio 44039
- OWNER:** Root Residential Development, LLC
36097 Westminister Ave, North Ridgeville, Ohio 44039
- REQUEST:** Final plat approval of residential cluster development Harvest Pointe Subdivision, Phase No. 1
- LOCATION:** Northeast side of Root Road and south of Lorain Road, in an R-1 Residence District.
Permanent Parcel No. 07-00-011-103-189
- PC ACTION:** **Approved by a vote of 4-0**
-
- APPLICANT:** Tony Perez; Lemmon Development
8230 Pittsburg Avenue NW, North Canton, Ohio 44720
- OWNER:** North Ridgeville Senior Living, LLC
821 South Main Street, North Canton, Ohio 44720
- REQUEST:** Final plan approval for Danbury Senior Living, Phase 2
- LOCATION:** Northeast side of Bagley Road, in a Special Development District.
Permanent Parcel No. 07-00-011-102-154
- PC ACTION:** **Approved by a vote of 4-0**

cc: Mayor Corcoran
Safety-Service Director Armbruster
Law Director Moriarty
Assistant Law Director Morgan
City Engineer Rodriguez
Assistant City Engineer Eavenson
Chief Building Official Fursdon

Engineering Fee Paid \$ 1395.00
Receipt No.: 486269
 Cash Check - Check No. 1113
(See attached for description of fees.)

Planning Commission & Bldg. Admin. Fees \$ 322.00
Receipt No.: 396029
 Cash Check - Check No. 1112
(See attached for description of fees.)



RECEIVED

MAR - 4 2020

RECEIVED

CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
REQUEST FOR ACTION

Received: _____ Date Released to Planning Commission: 03/16/2020
Date of Planning Commission Meeting: _____ (Unless otherwise notified.)

APPLICANT INFORMATION AND REQUEST

APPLICANT: Ryan Schultheiss PROPERTY OWNER: Root Residential Development LLC
COMPANY NAME: Root Development & Construction ADDRESS: 36097 Westminster Ave.
ADDRESS: 36097 Westminster Ave. CITY / STATE: N Ridgeville OH ZIP: 44039
CITY / STATE: N Ridgeville OH ZIP: 44039 PHONE NO.: 440 353 2822
PHONE NO.: 440 353 2822 SIGNATURE: [Signature]
SIGNATURE: _____ (Owner's original signature must be submitted with application.)
EMAIL ADDRESS: Ryan@GreenQuestGroup.com

Please provide an email address, fax number or mailing address to send Administrative comments in advance of the meeting.

LOCATION OF PROPERTY/ADDRESS: North/East Side of Root Rd and South of Lorain Rd
PERMANENT PARCEL NO.: 07000111 03189 ZONING OF PROPERTY: R-1
ZONING OF ADJACENT PROPERTY TO: NORTH R-1 EAST R-1 SOUTH R-1 WEST R-1
DESCRIPTION OF REQUEST: Final A plat approval of Harvest Pointe Phase 1

Have the Planning Commission or Board of Zoning and Building Appeals considered any prior request concerning this property? Yes No
If yes, list dates and nature of each: Feb 12, 2019 Preliminary approval of Harvest Pointe Phase 1

On the attached form, list the current record title owners(s) adjacent to the property of request. Include on this list the record title owner(s) name(s), permanent parcel number(s) and mailing address(es). Adjacent properties shall include those properties bordering to the north, south, east, west, across a street from the property involved and those properties meeting corners of the property involved.
In the event of property transfers, the applicant shall be responsible for providing an updated list of current adjacent record title owner(s) to the office of the Clerk of Council twenty-five days prior to the date of any public hearing when the applicant will appear on the agenda.

PLANNING COMMISSION USE ONLY: APPROVED DISAPPROVED
All approvals are conditional until applicant fully meets the requirements of applicable City ordinances enforced by the Chief Building Official, City Engineer, Fire Department and Police Department with respect to safety and design.
 Board of Building & Zoning Appeals Approval Required
 Conditions as set forth by the Commission on this date are: _____

Date: _____ Signature: _____
(Presiding Officer at Meeting)

Return completed form to Building Dept., 7307 Avon Belden Road, North Ridgeville, Ohio, 44039 after Commission action

TO BE FILLED OUT BY APPLICANT

I, Ryan Schultheiss (Print Name) _____ (Signature)

verify that the following are the names, mailing addresses and permanent parcel numbers of the current record title owners adjacent to the property of request for:

Applicant: Ryan Schultheiss

Owner: Root Residential Development, LLC

Project address: N/E Side of Root Road/S of Lorain Rd. Permanent parcel no. 07-00-011-103-189

**THE FOLLOWING INFORMATION MAY BE OBTAINED AT THE LORAIN COUNTY AUDITOR'S OFFICE,
ADMINISTRATION BUILDING., 226 MIDDLE AVENUE, ELYRIA, OHIO.
PHONE: 440-329-5207 WEBSITE: WWW.LORAINCOUNTY.COM/AUDITOR**

	<u>ADJACENT PROPERTY OWNER/ADDRESS</u>	<u>PARCEL NUMBER</u>
✓1	Mildred I. Smith 8715 Root Rd. North Ridgeville, OH 44039	✓07-00-011-103-028, ✓07-00-011-103-055, ✓07-00-011-103-076, & ✓07-00-011-103-068
✓2	Sarah L. Dittel <i>Thomas & Janet Stroeter</i> 8699 Root Rd. North Ridgeville, OH 44039	✓07-00-011-103-012, & ✓07-00-011-103-059
✓3	Robert B. Hayes & Carolyn L. Zack 41485 Russia Rd. Elyria, OH 44035	✓07-00-011-103-067, & ✓07-00-011-103-077
✓4	Robert S. & Julia E. Moore 34155 Lorain Rd. North Ridgeville, OH 44039	✓07-00-011-103-074, ✓07-00-011-103-090 <i>07-00-011-103-192</i>
✓5	Ridgefield Homeowners Association 8700 Gatewood Dr. North Ridgeville, OH 44039	✓07-00-011-103-108
✓6	City of North Ridgeville 8949 Root Rd. North Ridgeville, OH 44039	07-00-011-103-058
✓7	Thomas E. & Margaret F. Lesniak 8761 Root Rd. North Ridgeville, OH 44039	07-00-011-103-048
✓8	David & Julie Gunn 8810 Root Rd. North Ridgeville, OH 44039	07-00-011-104-002
✓9	Gerald Simon 8776 Root Rd. North Ridgeville, OH 44039	07-00-011-104-007
✓10	Sarah J. Stacey 8754 Root Rd. North Ridgeville, OH 44039	07-00-011-104-008

SEE REVERSE SIDE FOR ADDITIONAL LISTINGS.

OFFICE USE ONLY

CBO verification by: *[Signature]*
BZA/PC verification by: _____

Date/time stamp:

	<u>ADJACENT PROPERTY OWNER/ADDRESS</u>	<u>PARCEL NUMBER</u>
✓11	Michael G. & Maureen E. Krulichuk 8732 Root Rd. North Ridgeville, OH 44039	07-00-011-104-009
✓12	Catherine L. Rosbough 8710 Root Rd. North Ridgeville, OH 44039	07-00-011-104-011
✓13	Arthur K. & Charlotte A. Kline 8688 Root Rd. North Ridgeville, OH 44039	07-00-014-105-032
✓14	Robert M. & Gloria J. Stepp 8668 Root Rd. North Ridgeville, OH 44039	07-00-014-105-033
✓15	Lawrence J. Schroeder & Marianne Dechant 8644 Root Rd. North Ridgeville, OH 44039	07-00-014-105-034
✓16	Marvin C. & Phyllis J. Moore 8622 Root Rd. North Ridgeville, OH 44039	07-00-014-105-035
17	Robert P. Moore Holdings, LLC 34155 Lorain Rd. North Ridgeville, OH 44039	07-00-011-103-192
18		
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PLEASE COPY THIS PAGE FOR ADDITIONAL LISTINGS OF ADJACENT PROPERTY OWNERS.

SUBDIVISION: Harvest Pointe
 DATE: January 13th, 2020

FINAL PLAT APPROVAL: §1224.02

The following item(s) (do, does, does not) conform with the requirements of the North Ridgeville City Subdivision Regulations. Those items not conforming are explained on the final page.

	Included	Not Included	Item
1	X		Application with names of adjacent parcel owners, parcel numbers and addresses: §1210.04
2	X		Preliminary plan approval on (date): <u>Feb 12, 2019</u> §1224.05(b)(2)
3	X		Subdivision plat drawn to scale of not less than 100 feet to the inch. If more than 2 sheets, an index sheet of same dimensions must be filed with the entire subdivision on 1 sheet with all areas shown on other sheets indicated. Drawings shall be held to a minimum of 18 inches by 24 inches and a maximum of 24 inches by 36 inches outside dimensions; and must be drawn using India ink: §1224.02(a)
4	X		The final plan shows boundary lines of the area being subdivided in heavy lines with accurate distances and bearings, including original lot, township, corporations and county lines and road center lines: §1224.02(a)(1)
5	X		The final plan shows property lines of all proposed streets with their widths, names, bearings and existing sanitary and storm sewers, water mains, culverts and other underground structures within the tract and adjacent thereto: §1224.02(a)(2)
6	X		The final plan shows the accurate boundary lines of all grounds for public use and the acreage of the same: §1224.02(a)(3)
7	X		The final plan shows all common boundary corners of all adjoining lands and adjacent streets with their widths and names, the names of adjoining subdivisions and the name of record owners of adjoining parcels of unplatted land: §1224.02(a)(4)
8	X		The final plan shows all lot lines with as many bearings as necessary to describe each line and a system for identification of lots, blocks and other areas: §1224.02(a)(5)
9	X		The final plan shows easements for public uses, services or utilities and their dimensions: §1224.02(a)(6)
10	X		The final plan shows all dimensions, linear and angular, boundary locations, lots, streets, easements and areas for public or private uses, expressed in decimals of a foot and the number of acres of each reserve, park, playground and other public areas: §1224.02(a)(7)
11	X		The final plan shows the radii and chords, points of tangency, control angles for all curvilinear street center lines and radii for all rounded corners: §1224.02(a)(8)
12	X		The final plans shows all arcs, chords lengths, bearings of chords and points of tangency of the property lines of the curvilinear lines: §1224.02(a)(9)
13	X		The name of the subdivision and a description of the property subdivided, showing its location and extent, points of compass, scale of plan, dedication of streets and other public open spaces, and he names of the owner and subdivider, together with the appropriate evidence of ownership of the subdivision: §1224.02(a)(10)

	Included	Not Included	Item
14	X		Certification by a surveyor, licensed or registered in the state, to the effect that the plan represents a survey made by him/her in which the traverse of the exterior boundaries of the tract and of each block, when computed from field measurements of the ground, closed within a limit of error of 1 foot to 10,000 feet of the perimeter before balancing the survey, and that all the required survey monuments are correctly shown thereon and that those which are necessary for construction of improvements are in place on the site, with any remaining survey monuments to be properly placed upon the completion of construction: §1224.02(a)(11)
15	X		Proper acknowledgement of consent of the plat by all parties having any record, legal right, title or interest in the property: §1224.02(a)(13)
16	X		Building setback lines with dimensions to be shown on plan: §1224.02(a)(14)
17	X	X	A copy of the preliminary title report: §1224.02 <i>On File with the City</i>
18	X		A copy of improvement plans, if any, along with a <u>subdivider's agreement</u> , construction drawings, title sheet, plan view and profile view, engineering details, estimates of quantities and materials: §1228.01(a) through (h) <i>Subdivider's Agreement on File with City</i>
19	X		10 copies of the subdivision plat: §1224.05(b)(2)A
20		X	A copy of the certificate from City Engineer that all improvements have been installed or a performance agreement and bond have been filed to secure the construction: §1224.05(b)(2)A 1 and 2

- We are not planning to market lots at this time.

PLEASE NOTE THAT THIS CHECK LIST DOES NOT SUPERSEDE CITY ORDINANCES. PLEASE MAKE SURE YOU UNDERSTAND WHAT IS REQUIRED TO BE SUBMITTED TO PLANNING COMMISSION. THE APPLICATION MAY NOT BE ACCEPTED BY PLANNING COMMISSION IF ALL REQUIRED INFORMATION, PURSUANT TO CITY ORDINANCES, IS NOT SUBMITTED WITH THE APPLICATION.

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Ryan Schultheiss
Name of Owner:	Root Residential Development, LLC
Date Submitted for Consideration:	1-17-20
Date to Return to Planning Commission:	2-11-20

Regarding: Harvest Pointe Subdivision #1

RECOMMENDATIONS:

1. 1282.11 (a) (2) Harvest Pointe Subdivision No.1 has 12 lots, with a density of 3.43 (12 lots divided by 3.4943 acres = 3.43). Code compliance is determined at final phase.
2. 1282.11 (b) (1) Of the 20 allowable cluster family lots (25.332 total acres x 2.3 = 58.266 allowable lots x .35 = 20.39 total cluster family lots) Harvest Pointe Subdivision No. 1 has 12.
3. 1282.11 (c) (3) Front yard setback for cluster family dwellings is 22 foot from sidewalk or street, make sure a car can be parked in the driveway without blocking the sidewalk.
4. Harvest Pointe Subdivision No. 1 does not have any open space shown on the plans.
5. 1282.11 (e) Two enclosed parking spaces required for each dwelling.

(use additional sheets if necessary)

Department Head Signature & Title: _____

 CBS

Form prepared by the Office of the Clerk of Council 6-30-99. Amended 12-13-2005.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter. (Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS

Name of Applicant:	Ryan Schultheiss; Root Development and Construction, LLC 36097 Westminister Ave, North Ridgeville, Ohio 44039
Name of Owner:	Root Residential Development, LLC 36097 Westminister Ave, North Ridgeville, Ohio 44039
Date of Planning Commission Meeting:	Tuesday, April 14, 2020
Date to Return to Deputy Clerk of Council:	Thursday, April 02, 2020

Regarding: Final plat approval of residential cluster development Harvest Pointe Subdivision Phase No. 1; located on the northeast side of Root Road and south of Lorain Road, in an R-1 district.
Permanent Parcel No. 07-00-011-103-189

Recommendations:

We appreciate and encourage successful local business owners to continue to invest in our city and we look forward to another successful project by the Applicant.

(Use additional sheets if necessary.)

Department Head Signature: _____



Title: Mayor

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

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RECOMMENDATIONS

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Permanent Parcel No. 07-00-011-103-189

Recommendations:

Glad to see this project moving forward

(Use additional sheets if necessary.)

Department Head Signature: _____



Title: Safety-Service Director

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

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RECOMMENDATIONS**

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Recommendations:

1. No comment at this time.

(Use additional sheets if necessary.)

Department Head Signature: _____



Title: City Engineer

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

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(Planning Commission By-Laws, Article V, Section 3)

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CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS

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Regarding: Final plat approval of residential cluster development Harvest Pointe Subdivision Phase No. 1; located on the northeast side of Root Road and south of Lorain Road, in an R-1 district.
Permanent Parcel No. 07-00-011-103-189

Recommendations:

No comments at this time

(Use additional sheets if necessary.)

Department Head Signature: Mike Uhnak _____ **Title:** Assistant Fire Chief

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
(Planning Commission By-Laws, Article V, Section 3)

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RESPONSE TO COMMENTS FROM CHIEF BUILDING OFFICIAL GUY FURSDON

From: [Ryan Schultheiss](#)
To: [Michelle Owens](#); [Guy Fursdon](#)
Subject: RE: Planning Commission April 14, 2020 - Harvest Pointe Subdivision, Phase 1
Date: Wednesday, April 08, 2020 12:51:03 PM
Attachments: [04.14.2020_Harvest Pointe Subdivision No. 1 - Final Plat Approval.pdf](#)

Guy / Michelle-

Please see below for responses to Guy's comments provided in the attached document. If there are any further questions, please let me know.

1. We agree that density code compliance will be determined at the final phase and we will continue to track in all subsequent phase approvals.
2. We agree that the cluster lots in Phase 1 are under the total allowable of 20. We are aware of the code and will not exceed it. Compliance will be determined in subsequent phases.
3. We currently have 22' from the sidewalk to the house. Even a large car such as a Chevrolet Suburban (length of approximately 18.5') would be able to fit comfortably without overhanging into the sidewalk.
4. Per the "Approved" Preliminary Plan on Page 3, Polaris calls out that Required Open Space is 20% of the Gross Acreage of the Entire Development (20% would be 5.06 acres). Per Page 13 of the Phase 1 Improvement Plans, we have approximately 21.55 acres remaining of undeveloped land. We plan to address Required Open Space on plans submitted for subsequent phases. If you would like this addressed elsewhere, please let us know.
5. We agree, all units will include a 2 car, enclosed garage.

Thanks,
Ryan

Ryan Schultheiss, CPA
Green Quest Group
36097 Westminister Ave.
North Ridgeville, OH 44039
Cell: (513) 535-1849
Email: Ryan@GreenQuestGroup.com



MACK INDUSTRIES INC.
201 COLUMBIA ROAD
VALLEY CITY, OHIO 44280
(330) 483-3111 FAX: (330) 483-0412
RPALOS@MACKCONCRETE.COM

JS PARIS EXCAVATING
HARVEST POINTE SUBDIVISION NO. 1
(PARTIAL SUBMITTAL)
SUBMITTAL DATA

CONTRACTOR: JS PARIS EXCAVATING
PO BOX 219
N JACKSON OH 44451
PHONE: (330) 538-9876
FAX: (330) 538-9876
ATTN: NICK ROSSI

MANUFACTURER: MACK INDUSTRIES, INC.
201 COLUMBIA ROAD
VALLEY CITY, OH 44280
PHONE: (330) 483-3111
FAX: (330) 483-0412
SALESMAN: BILL KELLER EXT: 6304

1 SET OF PRODUCTION STANDARDS FOR:

MACK INDUSTRIES MANHOLE DESIGN SPECIFICATIONS
LEGEND FOR INTERPRETING MH/CB SHOP DRAWINGS
60" DIA DOGHOUSE MANHOLE
SANITARY MANHOLE W/PRECAST DROP
COPOLYMER POLYPROPYLENE STEP (MA)
JOINT GASKET (UNIVERSAL POLYMER & RUBBER, LTD)
CONSEAL CS-102
A-LOK SEAL PIPE CONNECTOR
PRODUCTION PRINT

SENT 1/3/20

Valley City, OH
330/483-3111

Vienna, Ohio
330/638-7680

Toledo, OH
419/353-7081

Orlando, FL
904/742-2333

Pontiac, MI
810/620-7400

H:\MyDocs\U.S. PARIS.doc



MACK INDUSTRIES, INC.
201 COLUMBIA ROAD
VALLEY CITY, OHIO 44280
(330)483-3111 FAX: (330)483-3507
<http://www.mackconcrete.com>

48", 60", 72", 84", 96" AND 120" DIAMETER
MANHOLE DESIGN SPECIFICATIONS
(MEETS ASTM C-478 STANDARDS & ODOT REQUIREMENTS)

SIZE:

Mack precast concrete manholes are manufactured in 48", 60", 72", 84" 96", and 120" diameters. Standard riser sections are available in heights of 16", 32", 48", and 64". Cone sections are eccentric in style, tapering from 48" diameter at the bottom to 24" diameter at the top and are available in heights of 24", 32", 36", and 48". Reducer sections, which reduce larger diameter manholes to 48" diameter, are available in 16" and 32" heights. Flat tops are available in both 12" and 16" heights and can be used for shallow installations that do not permit the use of a taller cone section. Flat tops can be manufactured for any diameter manhole.

CONCRETE AND AGGREGATE:

Concrete used in MACK precast concrete manholes is a 5,000 PSI mixture of Portland air entrained cement (per ASTM C-150) mixed with number 8 or 57 stone and group one concrete sands (per ASTM C-33, C-136). Concrete admixtures can be added in accordance with ASTM C-260, C-494, and C-1017, with Airtrane of 6%+1-2.

REINFORCEMENT:

MACK 48" diameter cone sections are reinforced with welded steel wire. MACK 48" diameter riser sections are reinforced with 3" x 8" W3/W2 welded wire mesh per ASTM-1064. MACK 60" diameter and 72" diameter manholes are reinforced with 2" x 8" W3/W2.9 welded wire mesh. (Flat slab tops are 12" and 16" in height with a layer of steel that gives a minimum uniform reinforcement of 0.20 in both directions.

JOINTS:

MACK precast concrete manhole sections are sealed by means of a flexible rubber gasket. The manhole joint is per ASTM C-443. A butyl resin sealant (manufactured by CONSEAL) will be made available upon request, and can be used in conjunction w/rubber gasket.

STEPS:

MACK manhole steps shall be steel reinforced polypropylene drive-in steps. Steps are manufactured in accordance with ASTM D-4101 and shall be installed in accordance with OSHA STD 1-1.9. Additional information will be made available upon request.

SEALS:

Seals if required are flexible, watertight connections per ASTM C-923. Seals available are A-Lok, Z-Lok, Kor-N-Seal, or Press-Seal brand seals.

Valley City, OH
330/483-3111

Vienna, Ohio
330/638-7680

Toledo, OH
419/353-7081

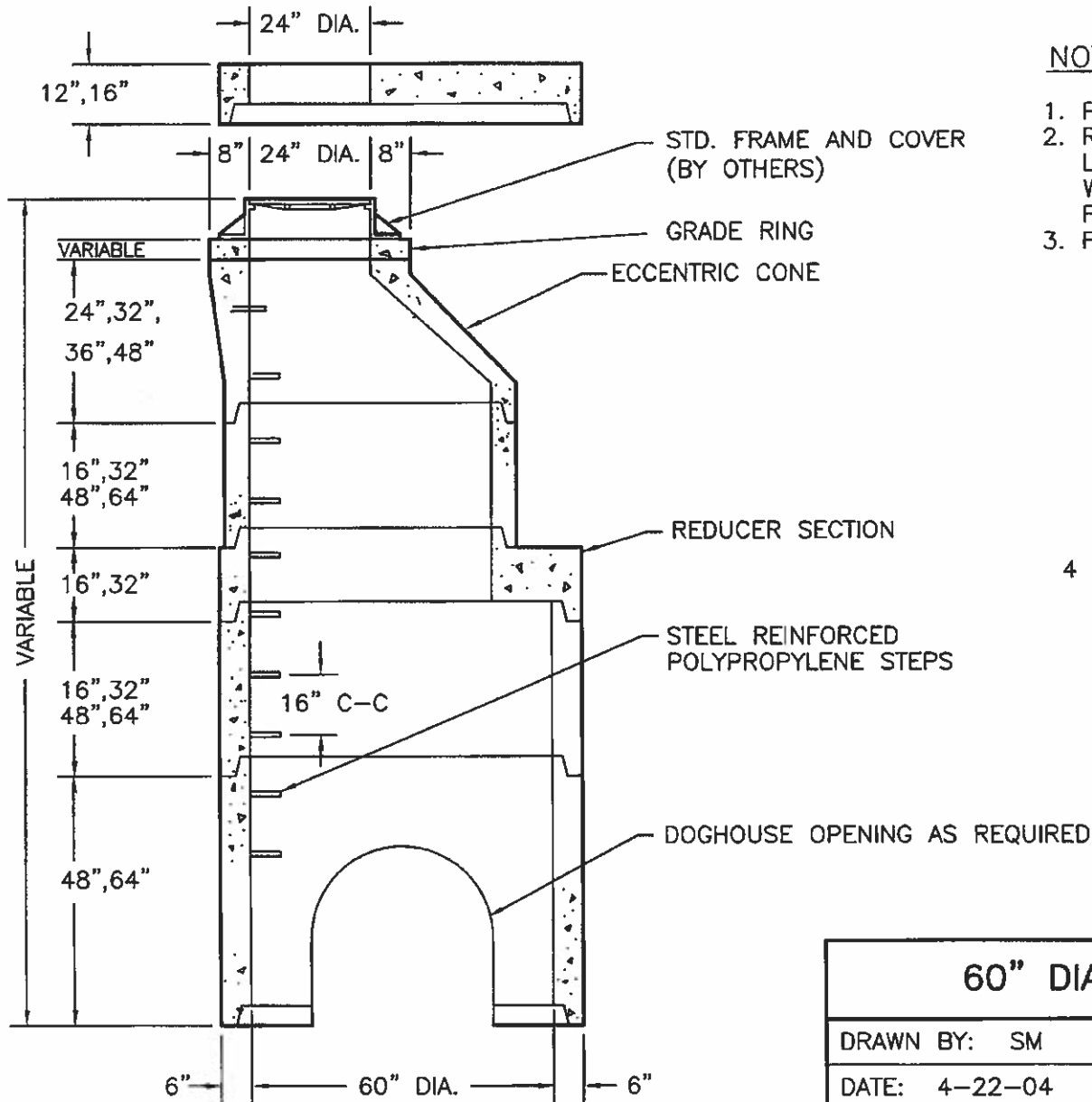
Orlando, FL
904/742-2333

Pontiac, MI
810/620-7400

MACK INDUSTRIES, INC.

LEGEND FOR INTERPRETING MH/CB SHOP DRAWINGS

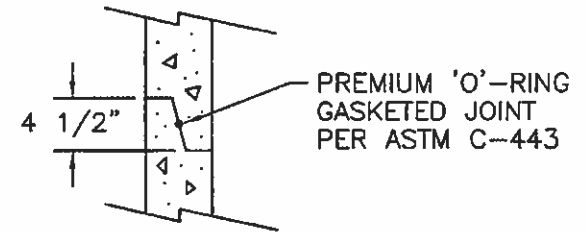
- "Invert"** = Plan invert of the lowest pipe entering manhole.
- "Rim to Invert"** = Distance, in feet, from the rim to the invert of the lowest pipe entering manhole.
- "Catch"** = Distance, in feet, between the top of the inside floor of the base section and the invert of the lowest pipe being connected to the manhole.
- "Precast Height"** = Total furnished height from top of casting to outside bottom of base section.
- "Slack"** = Distance, in feet, of the unaccounted for distance between what is theoretically required for the manhole ("Rim to Invert" dimension) and what is actually provided.
- "Ext. (cw)"** = Distance, in inches, measured clockwise from 0 degrees around the outside perimeter of the manhole (a minus "-" indicates counter-clockwise). Zero degrees always starts at step location.
- "UP (+)"** = Distance, in inches, measured up from the outside bottom of the base section to the centerline of the pipe (and seal). If the pipe enters the manhole above the base section, the "UP" distance is measured from the first joint immediately below the pipe. *NOTE: When checking catch basin details, the "UP" dimension is the distance, in inches, measured up from the outside bottom of the base section to the bottom of the hole.*
- "Wall"** = Wall thickness, in inches, of the pipe being connected to the manhole.
- "Connector"** = Specific type of flexible connection utilized for the connection between the pipe and the manhole.
- "Hole"** = The diameter of the hole, in inches, required for the "Connector" being utilized.
- "Pipe"** = The size and type of pipe entering the manhole.
- "Ref"** = The specific precast section (see lower right hand side of detail sheet) into which the pipe will be placed.



TYPICAL MANHOLE SECTION

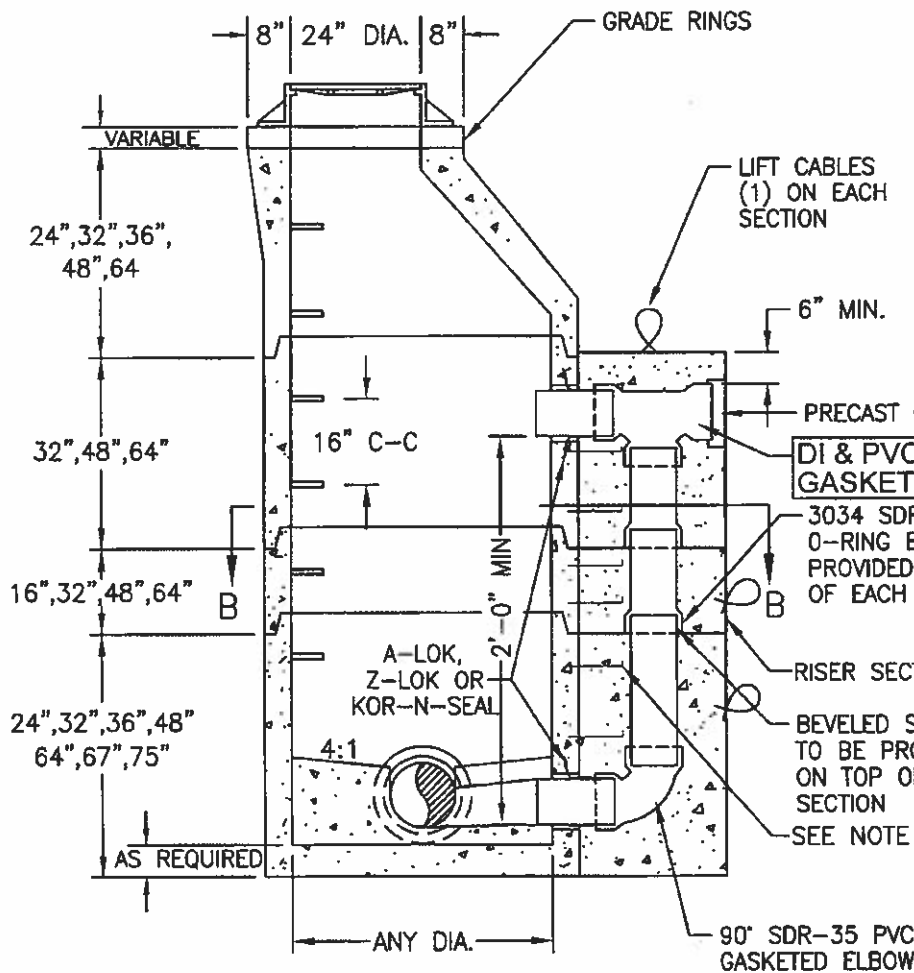
NOTES:

1. PRECAST MANHOLE PER ASTM C-478.
2. REINFORCING IN WALLS TO BE ONE LAYER OF 2" X 8" W3/W2.9 WELDED WIRE MESH. CIRCUMFERENTIAL REINFORCEMENT = 0.18 SQ. IN./VERT. FT.
3. FLAT TOP REINFORCED FOR H-20 LOADING.

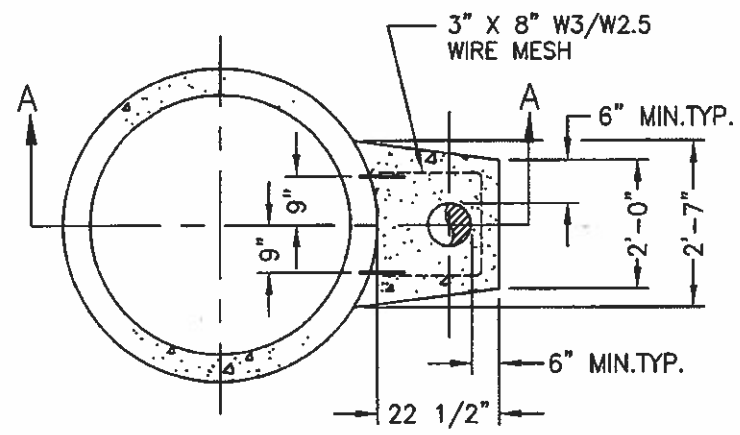


JOINT DETAIL

60" DIA. DOGHOUSE MANHOLE		
DRAWN BY: SM	SCALE: NTS	DRAWING NO.:
DATE: 4-22-04	REV:	VC5MHSTDOG
MACK INDUSTRIES, INC.		
201 COLUMBIA ROAD, VALLEY CITY, OHIO 44280		(330)483-3111



SECTION A-A



SECTION B-B

NOTES

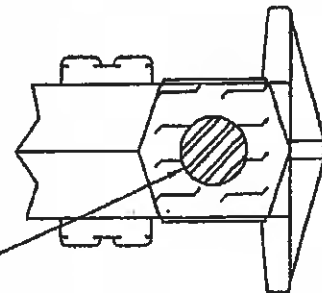
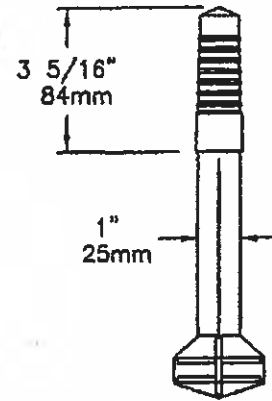
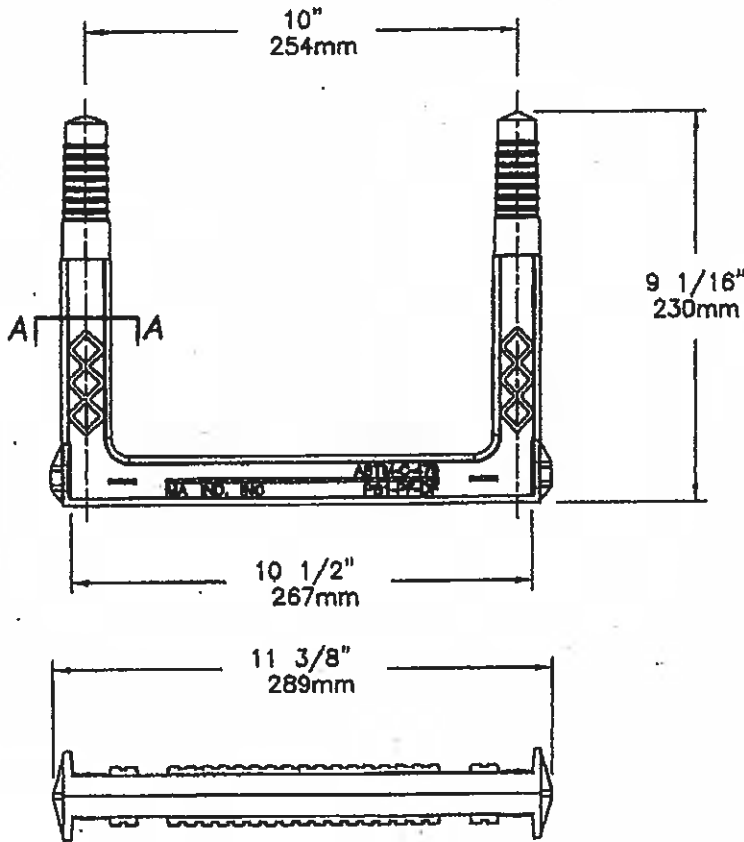
- 1) PRECAST MANHOLES CONSTRUCTED PER ASTM C-478. SEE STANDARD MANHOLE DETAIL FOR MORE INFORMATION.
- 2) DROP SECTIONS TO HAVE A COMPRESSIVE STRENGTH OF 4,000 PSI WITH IN 28 DAYS.
- 3) 1/2"x 8" LONG ANCHOR BOLTS SPACED 18"C-C MAX. BOTH DIRECTION. [MIN. (4) BOLTS PER DROP SECTION]
- 4) 4', 5', 6', 7', & 8' DIA. MANHOLES CAN BE MADE USING THE SAME PRECAST DROP DIMENSIONS UP TO 12" PIPE. CONSULT YOUR SALESMAN FOR LARGER DROP PIPE SIZES AND DIFFERENT PIPE TYPES.

<h2>PRECAST DROP DETAIL</h2>		
DRAWN BY: CJ	SCALE: NTS	DRAWN NO.:
DATE: 1-28-99	REV: 11-2-01 BK	VCDROP
<h3>MACK INDUSTRIES, INC.</h3>		
201 COLUMBIA ROAD, VALLEY CITY, OHIO 44280 (330)483-3111		

PS1-PF-DF

004-501-DF

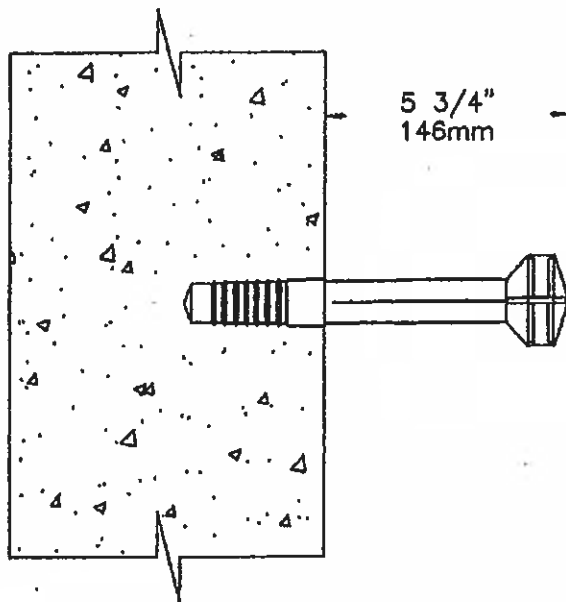
Manhole Step



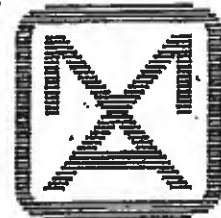
Copolymer Polypropylene Plastic

13mm
1/2" GRADE 60 STEEL REINFORCEMENT

SECTION-A



MEETS: ASTM C-478
ASTM D-4101
ASTM A-615
AASHTO M-199



M . A . I N D U S T R I E S , I N C .

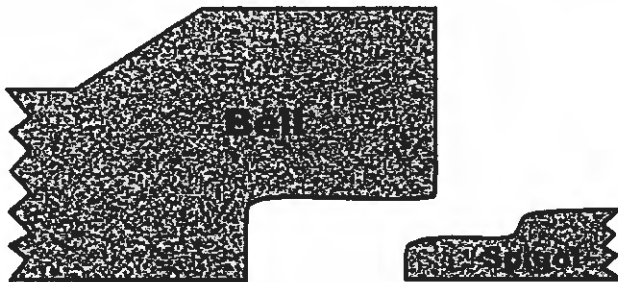
P.O. Box 2322, 303 Dividend Dr. • Peachtree City, GA 30269 • Phone (770) 487-7761 • Molding Sales Fax (770) 487-1482 • Corporate Fax (770) 631-4679

UP&R Profile Gasket – Single Offset Joining System

Applications

Concrete Pipe – Reinforced low head pressure or sewer/culvert pipe using a single offset joint design.

Pipe Joint Design – The UP&R Profile Gasket has been designed for use on a single offset joint as shown below. Final joint designs should be obtained from the equipment manufacturer.



Installation

Handling – Avoid chipping of the spigot end and bell. Clean the spigot including the step where the gasket is seated.

Placement – Put the gasket on the spigot end making sure that the gasket is firmly against the shoulder of the offset.

Equalization – Snap the gasket in several locations to insure that the designed stretch of the gasket has been

equalized around the circumference of the pipe.

Joining – Lubricate the leading taper of the bell along with the entire bell surface with *Lubricant*. Apply a small amount of lubricant to the leading edge of the gasket. Align the spigot with the bell and push the pipe carefully until the spigot is all the way home.

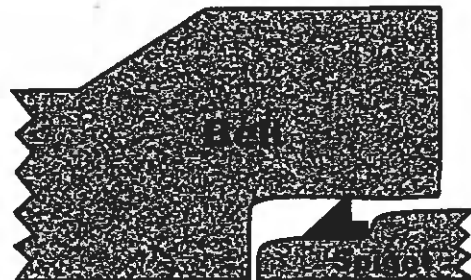
Material Specifications

UP&R Profile Gaskets are fabricated from compound meeting, or exceeding, the physical requirements of ASTM C-443.

Certified test results are available upon request.

Marking

All gaskets are identified with the cross section number, pipe manufacturers' name, specification and year and month





UNIVERSAL POLYMER & RUBBER, LTD.

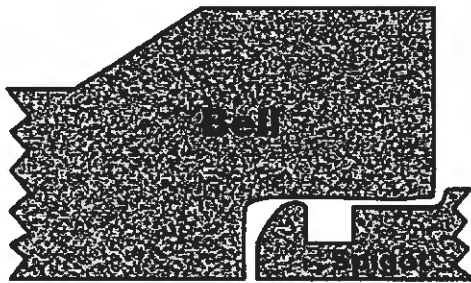
5', 6', 7' AND 8' DIA. MANHOLES

UP&R Precision O-Ring Joining System

Applications

Concrete Pipe – Reinforced low head pressure, sewer, storm drain, and culvert pipe with confined O-ring joint design

Pipe Joint Design – The UP&R O-Ring Gasket is specifically engineered for use in a confined spigot groove as shown below. Joint details are determined from shop drawings on manufactured equipment.



Joining – Lubricate the leading edge of the bell with *Pipe Lubricant*. Align the spigot with the bell and couple the pipe carefully until the spigot is all the way home.

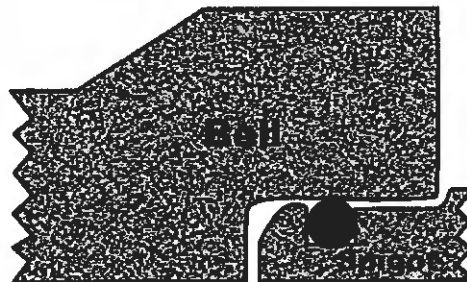
Material Specifications

UP&R Profile Gaskets are fabricated from compounds meeting, or exceeding, the physical requirements of ASTM C-361 and ASTM C-443.

Certified test results are available upon request.

Marking

All gaskets are identified with the cord diameter, pipe manufacturers' name, specification and month and year of manufacture.



Installation

Handling – Avoid chipping or spaulding on bells and spigots that may compromise the gasket sealing area and clean the surface of both the bell and spigot.

Placement – Apply lube copiously to the gasket prior to placing the gasket on the spigot. Make sure that the gasket is seated within the confined groove.

Equalization – Run a screwdriver or round rod under the gasket and equalize the stretch around the circumference of the joint.

Packaging – Universal Polymer & Rubber gaskets are shipped in standard size boxes.

PRODUCT SPECIFICATIONS



CONSEAL™
Concrete Sealants INC.

CS102

Butyl Sealant

APPLICATIONS

For self-sealing joints in: Manholes, Concrete Vaults, Septic Tanks, Concrete Pipe, Box Culverts, Utility Vaults, Burial Vaults, and Vertical Panel Structures.

SEALING PROPERTIES

- Provides permanently flexible watertight joints.
- Low to high temperature workability: 30°F to 120°F (-1°C to 48°C)
- Rugged service temperature: -30°F to +200°F (-34°C to +93°C)
- Excellent chemical and mechanical adhesion to clean, dry surfaces.
- Sealed Joints will not shrink, harden or oxide upon aging.
- No priming normally necessary. When confronted with difficult installation conditions, such as wet concrete or temperatures below 40°F (4°C), priming the concrete will improve the bonding action. Consult Concrete Sealants for the proper primer to meet your application.

HYDROSTATIC STRENGTH

ConSeal CS-102 meets the hydrostatic performance requirement as set forth in ASTM C-990 section 10.1 (Performance requirement: 10psi for 10 minutes in straight alignment – in plant, quality control test for joint materials.)

SPECIFICATIONS

ConSeal CS-102 meets or exceeds the requirements of Federal Specification SS-S-210 (210-A), AASHTO M-198B, and ASTM C-990-91.

9325 S.R. 201, Tipp City, Ohio 45371 • 937.845.8776 or 800.332.7325
FAX 937-845-3587 • www.conseal.com

10/01/2004 10:00 AM

PRODUCT SPECIFICATIONS



CONSEAL™
Concrete Sealants INC.

CS102

Butyl Sealant

PHYSICAL PROPERTIES

		Spec Required*	102
Hydrocarbon blend content % by weight	ASTM D4 (mod.)	50% min.	51%
Inert mineral filler % by weight	AASHTO T111	30% min.	35%
Volatile Matter % by weight	ASTM D6	2% max.	1.2
Specific Gravity, 77°F	ASTM D71	1.15-1.50	1.25
Ductility, 77°F	ASTM D113	5.0 min.	10
Penetration, cone 77°F, 150 gm. 5 sec.	ASTM D217	50-100	55-60
Penetration, cone 32°F, 150 gm. 5 sec.	ASTM D217	40 mm	40-65
Flash point, C.O.C., °F	ASTM D92	350°F min.	450°F
Fire point, C.O.C., °F	ASTM D92	375°F min.	475°F

IMMERSION TESTING

- 30-Day Immersion Testing: No visible deterioration when tested in 5% Caustic Potash, 5% Hydrochloric Acid, 5% Sulfuric Acid, and 5% saturated Hydrogen Sulfide. *
- One Year Immersion Testing: No visible deterioration when tested in 5% Formaldehyde, 5% Formic Acid, 5% Sulfuric Acid, 5% Hydrochloric Acid, 5% Sodium Hydroxide, 5% Hydrogen Sulfide and 5% Potassium Hydroxide.
- Requirements of ASTM C-990 Standard Specification for Joints for Concrete Pipe, Manholes, and Precast Box Sections Using Preformed Flexible Joint Sealants.

LIMITED WARRANTY

This information is presented in good faith, but we cannot anticipate all conditions under which this information and our products, or the products of other manufacturers in combination with our products, may be used. We accept no responsibility for results obtained by the application of this information or the safety and suitability of our products, either alone or in combination with other products. Users are advised to make their own tests to determine the safety and suitability of each such product or product combinations for their own purposes. It is the user's responsibility to satisfy himself as to the suitability and completeness of such information for this own particular use. We sell this product without warranty, and buyers and users assume all responsibility and liability for loss or damage arising from the handling and use of this product, whether used alone or in combination with other products.

9325 S.R. 201, Tipp City, Ohio 45371 • 937.845.8776 or 800.332.7325
FAX 937-845-3587 • www.conseal.com



The Company With Connections[®]

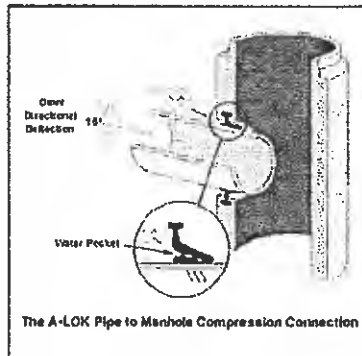


INCOMPARABLE PIPE-TO-MANHOLE CONNECTORS FOR SANITARY SYSTEMS

X-CEL

A-LOK X-CEL

Designed to produce a guaranteed watertight seal between pipe and concrete, the A-LOK X-CEL flexible pipe-to-manhole connector provides maximum performance on the job site. Its unique design not only saves valuable project time, but also ensures longevity and offers unsurpassed environmental benefits.



A-LOK X-CEL connectors prevent infiltration and ex-filtration into wastewater or stormwater systems, and are installed in the precast structure in a way that does not require coring or placement after the base component is cast. This eliminates residual waste from coring, disposal of the slugs or wasted raw material utilization or energy. Once cast-in, the connector becomes an integral component of the structure wall.

Based on the traditional A-LOK connector, the X-CEL's enhanced features improve performance. Take the patented "water pocket" for example, which utilizes the untapped pressure of ground water to exert a clamping force around the connector and pipe, allowing the connector to perform in deeper installations.

Demonstrated in tests higher than 15 psi of hydrostatic water pressure, the X-CEL's unique design provides 45 percent more rubber contact with the pipe, allowing for greater pipe deflection.

MATERIAL

Molded or extruded from compounds formulated for wastewater applications and engineered to conform to the requirements of section 4.1.1 of ASTM C 923, the standard rubber connector is available in alternative compounds upon request. Contact an A-LOK representative regarding special applications, such as the presence of hydrocarbons.

KEY ADVANTAGES

The A-LOK X-CEL offers distinct advantages for engineers, specifiers, precasters and municipalities. An enhanced profile gives the connector 45% greater rubber contact with the pipe, thus allowing the pipe to be deflected in excess of 10 degrees of omnidirectional deflection, all the while maintaining a watertight seal. These enhancements allow for more flexibility to compensate for pipe shear due to settlement or ground movement.

KEY ADVANTAGES (continued)

On larger-diameter pipe, where size prohibits a gasket from being installed in a flat plane, the X-CEL can be configured for casting in a curve with the connector staying perpendicular to the center line of the pipe. Discovered through years of extensive research and development, the configurations cause no loss of compression or deflection.

Functioning on pure compression, the X-CEL allows for fast and easy field installation. After the connector and pipe are cleaned and lubricated, the pipe is simply centered in the connector and inserted. Backfilling can be done immediately, thus enhancing project safety and overcoming the typical problems of water, running sand and other unstable trench conditions.

For Specifiers, the X-CEL connector offers a guaranteed solution to the age-old containment system problem of the best way to connect pipes and concrete structures. Precasters using X-CEL connectors experience increased satisfaction due to their ability to offer a complete watertight, guaranteed product, while municipalities that install X-CEL will ultimately spend less on road repair by avoiding the possibility of pot/sink holes that are often the result of leaking, non-connected, systems.

PRODUCT REFERENCES

A.) ASTM C-923

Resilient Connector Between Reinforced Concrete Manholes Structures, Pipe and Laterals.

B.) ASTM C-1244

Standard Test Method For Concrete Sewer Manholes by the Negative Air Pressure (Vacuum) Test

C.) ASTM C-478

Standard Specification for Precast Reinforced Concrete Manhole Sections

PERFORMANCE STANDARD

The A-LOK X-CEL guaranteed Connector meets or exceeds all material and test requirements outlined in ASTM C-923: "Resilient Connectors Between Reinforced Concrete Manhole Structures, Pipes and Laterals."

Molded or extruded from compounds formulated for wastewater applications, the standard rubber connector is engineered to conform with the requirements of section 4.1.1 of ASTM C-923. Alternative compounds are available upon special request.

PERFORMANCE STANDARD (continued)






RESILIENT TEST REQUIREMENTS OF A.S.T.M. C-923

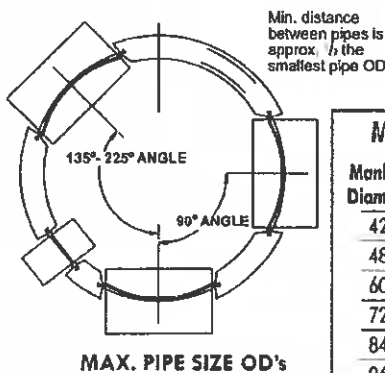
TEST	RESULTS	ASTM METHOD
Chemical resistance 1 N Sulfuric acid 1 N Hydrochloric Acid	no weight loss no weight loss	at 22°C for 48h
Tensile strength	1200 psi or 8.5 MPa, min	D 412
Elongation at break	350% min.	
Hardness	±5 from mfg's. specified hardness	D 2240 (Shore A durometer)
Accelerated oven-aging	decr. of 15%, max. of original tensile strength, decr. of 20% max. of elongation	D 573, 70±1°C for 7 days
Compression set	decr. of 25%, max. of original deflection	D 395, Method B, at 70°C for 22h
Water absorption	increase of 10%, max. of original by weight	D 471, immerse 0.75 by 2-in. or 19 by 25-mm Specimen in distilled water at 70°C for 48h
Ozone resistance	rating 0	D 1171
Low-temp brittle point	no fracture at -40°C	D 746
Tear resistance	200 lbf/in or 34 kn/m	D 624, Method B

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DIMENSIONAL DATA

A•LOK X-CEL Cross Sections / Pipe Size OD's

	92 Molded Series 4.25" - 7.25"		94 Extruded Series 30.00" - 59.50"
	93 Molded Series 8.50" - 13.00"		95 Extruded Series 60.00" - 87.50"
	93 Extruded Series 13.25" - 29.00"		Larger Sizes Available Upon Special Request



Manhole Diameter	MAX. PIPE SIZE OD's	
	135° - 225° Pipe Angle	90° Pipe Angle
42"	26.5"	22.0"
48"	31.5"	25.0"
60"	42.0"	32.0"
72"	52.5"	38.0"
84"	59.5"	44.0"
96"	73.5"	50.0"
108"	76.0"	56.0"
120"	85.0"	62.0"

PRODUCT SPECIFICATIONS

A flexible pipe to manhole connector shall be used whenever a pipe penetrates into a precast concrete manhole or structure. The connector shall be the A•LOK X-CEL CONNECTOR as manufactured by A•LOK PRODUCTS, INC., Tullytown, PA, or approved equal.

The design of the connector shall provide a flexible, watertight seal between the pipe and concrete structure. The connector shall assure that a seal is made between:

(1) The connector and the structure wall by casting the connector integrally with the structure wall during the manufacturing process in a manner that it will not pull out during pipe coupling. The connector shall also be capable of being cast into a round structure by curving the connector in a manner that allows it to remain centrally located within the structure wall and perpendicular to the pipe. This configuration will result in no loss of seal or deflection of pipe entering a concrete structure.

(2) The seal between the connector and the pipe shall be made by the compression of the connector between the outside circumference of the pipe and the interior hole opening of the structure. The connector shall be the only component to affect the seal between the pipe and structure.

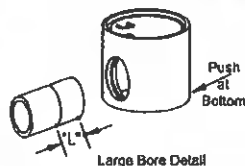
The connector shall be made from materials that conform to the physical and chemical requirements outlined in Section 4, "Materials and Manufacture" of ASTM C-923 Standard Specification for Resilient Connectors between Reinforced Concrete Manhole Structures, Pipes, and Laterals, and the overall design will meet or exceed Section 7, "Test Methods and Requirements" of ASTM C-923.

The connector shall be sized specifically for the type of pipe being used and shall be installed in accordance with the recommendations of the manufacturer.

INSTALLATION INSTRUCTIONS

STEP 1:

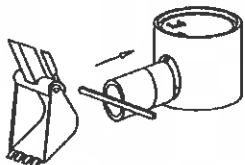
Confirm that the pipe surface is smooth, clean and free of foreign materials, chips, gouges and form seams due to manufacturing or handling. Slightly bevel any sharp or blunt edges caused by the cutting of the pipe.



STEP 2:

Lubricate the connector and the entire section of the pipe that will be inserted into the connector. The chart below lists A•LOK's minimum lubrication length "L".

PIPE SIZE	MIN. LUBRICATION LENGTH "L"
4" - 15"	12"
16" - 18"	18"
21" & larger	24"



STEP 3:

Center the pipe and connector square to each other and insert the pipe into the connector using a bar or back hoe depending on the size. Once the pipe is coupled with the connector, deflect the structure or pipe to achieve the proper angle.

WARNING

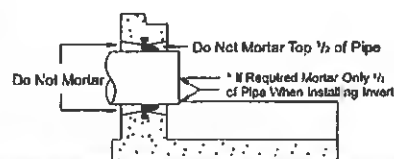
To ensure the A•LOK X-CEL Connector remains a flexible watertight connector, it is A•LOK Products, Inc. strong recommendation that: no mortar be placed between the pipe and wall of the concrete structure. The use of mortar in this area would decrease the effectiveness of the connector to compensate for shear caused by settlement or ground movement.

NOTE:

To find approximate subgrade, measure from the outside base of the structure to the junction of the connector and flat spot. Then add the wall thickness of the pipe plus 1/4 inch.

CAUTION:

When installing pipe stubs for future pipeline installation, all stubs must be properly restrained to prevent any movement by means other than the A•LOK X-CEL Connector.



Job Harvest Pointe Subdivision No 1				Contractor: JS PARIS				
Plant: MIVC			Salesperson: BK			Job Name: Harvest Pointe Subdivision No 1		
Station No.	Dia. Size	Pri	Date Base	Date Riser	Date Flow	Date Ready	Date Del	Job Order #
SAMH-1	60"							
1/3/2020 8:43:11 AM						Quote ID: 2020010014 Page: 1 of 1		



Job Name: Harvest Pointe Subdivision No 1
Harvest Pointe Subdivision No 1

Contractor: JS PARIS

Structure ID: **SAMH-1**

Spec: Valley City
Type: Sanitary
Size: 60"

Rim: 781.48'
Invert: 756.2'
Rim to Invert: 25.28'

Catch: 0.69'
Precast Height: 25.915'
Slack: 0.053'

- P9) 7" - Castings - 24"
- P8) 4" - Grade Rings - 24" - 10543
- P7) 4" - Grade Rings - 24" - 10543
- P6) 36" - Cone Ecc (no 24) - 48" - 14351W
- P5) 48" - Riser - 48" - 14651W
- P4) 64" - Riser - 48" - 14671W
- P3) 16" - Reducer 16 - 60" - 15811
- P2) 64" - Riser w/TeeDrop J - 60" - 15671J,12960J 68" -
- P1) Riser J w/90 Drop - 60" - 15671J,12985 Anchor
- 2) 6UA671 - 87479
- 1) O-ring & Mastic - 60" - 50505
- 1) O-ring - 60" - 50505
- 3) O-ring & Mastic - 48" - 50504
- 2) Doghouse 27"h x 20"w
- 2) A-285 - 70285
- 18) Plastic PS1 PF-DF 10" - 87190

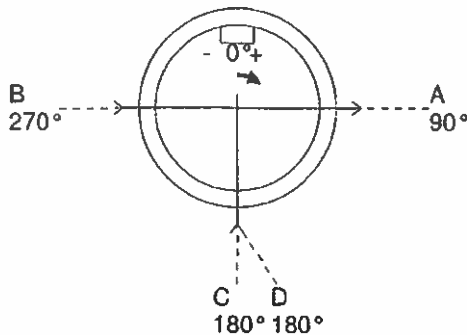
Structure Notes:

Doghouse bottom
A-lok seals for 8" drop pipes only
Plastic steps @ 16" c-c
Eccentric opening
Precast drop by Mack Ind

EJ #1040 or equal, not supplied by Mack Ind

Engineer: RP

Position	ID	Elev	Angle	Ext. (cw)	UP (+)	Wall	Connector	Hole	Pipe	Ref
Rim		781.48'								
Reducer										
Invert 1	A	756.2'	90°	56.5"	13.5"	0.536"	Doghouse 27"h x 20"w	27"x20"w	18" PVC	P1
Invert 2	B	756.2'	270°	-56.5"	13.5"	0.536"	Doghouse 27"h x 20"w	27"x20"w	18" PVC	P1
Invert 3	C	757.03'	180°	113"	22"	0.325"	A-285	8.75"	8" PVC SDR26	P1
Invert 4	D	765.1'	180°	113"	51"	0.325"	A-285	8.75"	8" PVC SDR26	P2
Invert 5										
Invert 6										
Invert 7										
Invert 8										

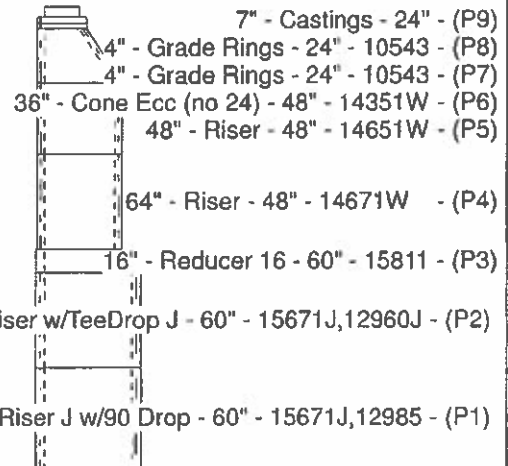


QC Grid

SET

PULL

FINAL



MACK INDUSTRIES, INC.
1/3/2020 8:11:50 AM

Quote ID: 2020010014

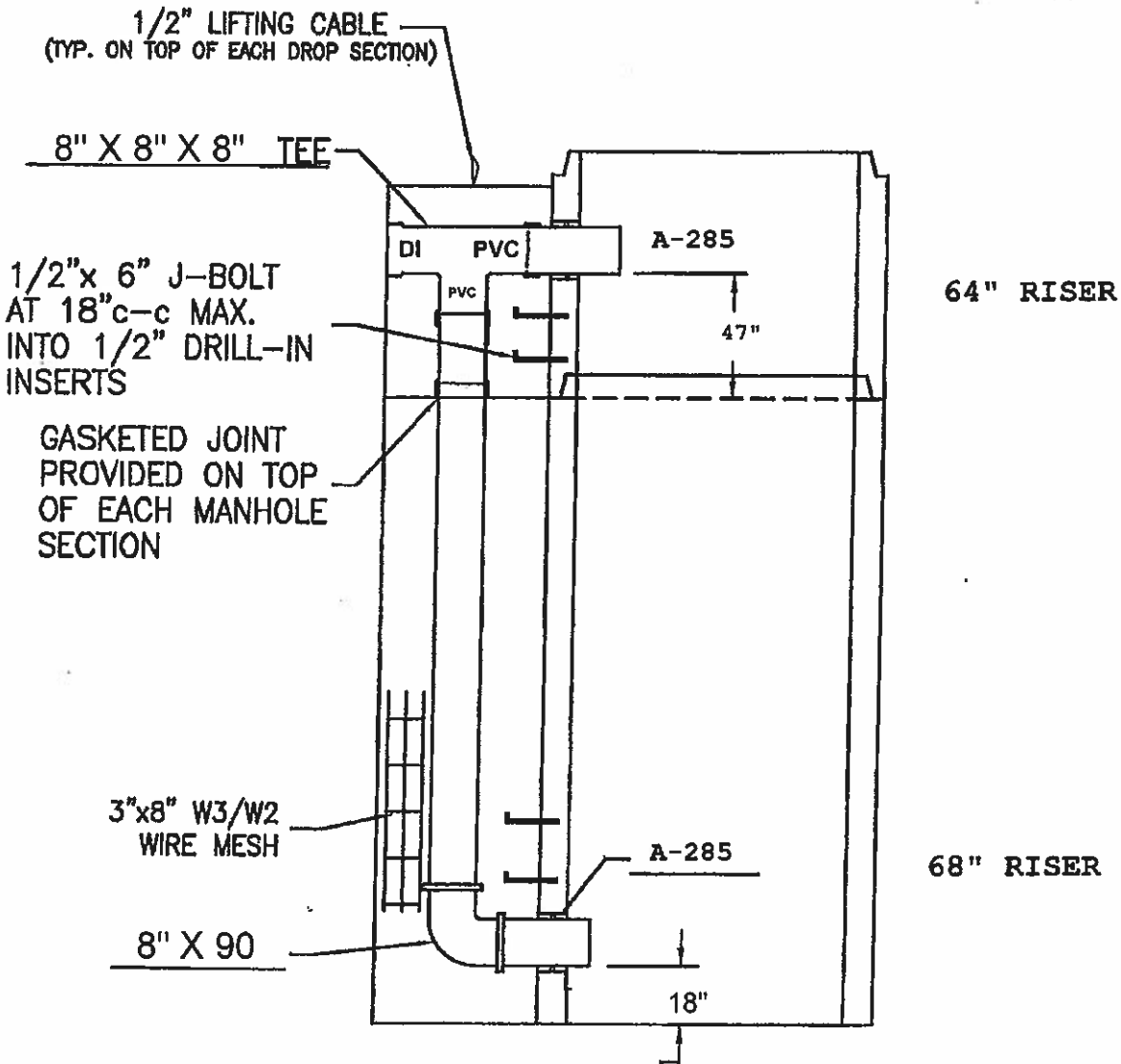
Structure ID: **SAMH-1**

PRECAST DROP MANHOLE DETAIL

TYPE OF PIPE: **DUCTILE IRON & PVC**

MATERIAL NEEDED:

MINIMUM OF 6" COVERAGE AROUND ALL PIPE



CUSTOMER: JS PARIS	STATION No.: SAMH-1
JOB NAME: Harvest Pointe Subdivision No. 1	JOB No.: CV
DRAWN BY: RP	DATE: 1/3/20
	DUE DATE: ASAP

MACK INDUSTRIES, INC.

201 COLUMBIA ROAD, VALLEY CITY, OHIO 44280 (330)483-3111

Harvest Pointe Subdivision No.1

P.P.N. 07-00-011-103-189, Root Residential Development LLC
 Known as Being a part of Lots 11 & 14, Original Ridgeville Township 16 North,
 Range 6 West within the Connecticut Western Reserve
 City of North Ridgeville - County of Lorain - State of Ohio
 Jan. 2020 Scale 1"=60'

OWNERS CONSENT:

WE, THE UNDERSIGNED ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH TIM N. HINKLE, GENERAL MANAGER, AND HOLDERS OF LIENS AND OTHER INTERESTS IN AND TO THE LANDS EMBRACED WITHIN THIS SUBDIVISION, DO HEREBY DECLARE THIS PLAT TO BE OUR FREE ACT AND DEED, AND DO HEREBY DEDICATE TO PUBLIC USE, FOREVER, THE STREETS AND RIGHT OF WAYS, EASEMENTS, AND OPEN SPACES, EXCEPTING THE EXISTING EASEMENTS, SHOWN ON THIS PLAT.

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE HARVEST POINTE SUBDIVISION HOMEOWNERS ASSOCIATION RESPONSIBILITIES FOR "DRAINAGE EASEMENTS" AS SHOWN HEREON, OUTSIDE OF THE PUBLIC RIGHT OF WAY, INCLUDING, BUT NOT LIMITED, TO GRADING, DRAINAGE, DRAINAGE PIPING AND DRAINAGE STRUCTURES.

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT TO THE CITY OF NORTH RIDGEVILLE, ITS SUCCESSORS AND ASSIGNS, "STORM SEWER EASEMENT" AS SHOWN HEREON WITH RIGHTS TO ACCESS, LAY, MAINTAIN, REPLACE, AND/OR REMOVE STORM SEWERS, INLETS, DITCHES, SWALES, EARTH MOUNDS, PLANTINGS, AND/OR OTHER APPURTENANCES. THE INDIVIDUAL PROPERTY OWNER, OVER WHICH SAID EASEMENT LIES, SHALL BE RESPONSIBLE FOR THE DAILY NORMAL MAINTENANCE OF THE EASEMENT AREA SUCH AS MOWING, LEAF COLLECTION AND DISPOSAL, AND ANY OTHER SIMILAR MAINTENANCE NOT REQUIRING THE USE OF SPECIAL OR HEAVY EQUIPMENT. ANY REGRADING OF THE EASEMENT AREA SHALL BE SUBJECT TO CITY CODES.

OWNER:

ROOT RESIDENTIAL DEVELOPMENT LLC.

TIM N. HINKLE, GENERAL MANAGER

STATE OF OHIO)

COUNTY OF LORAIN)

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED, ROOT RESIDENTIAL DEVELOPMENT LLC, THROUGH TIM N. HINKLE, GENERAL MANAGER, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC

MORTGAGE RELEASE:

THIS IS TO CERTIFY THAT THE UNDERSIGNED _____, HOLDER OF A MORTGAGE DEED ON LANDS SHOWN WITHIN THIS FINAL PLAT, HAVING EXAMINED SAID FINAL PLAT, DO HEREBY ACCEPT THE SAME TO BE CORRECT AND CONSENT TO DEDICATE TO PUBLIC USE THE STREETS SHOWN HEREON.

SIGNED

MORTGAGEE

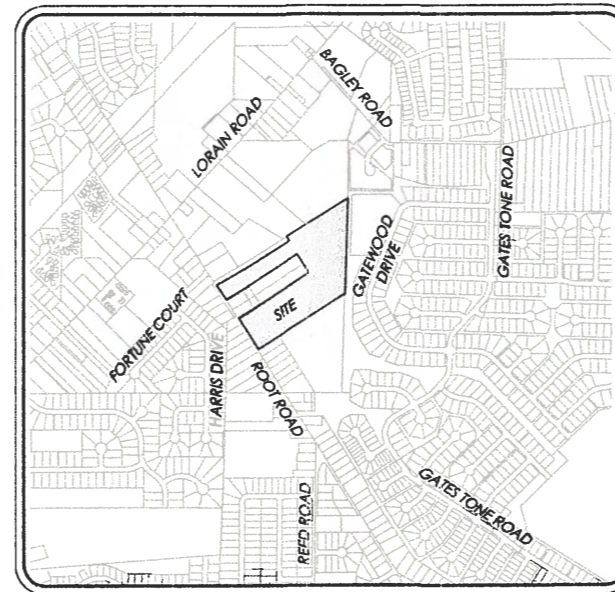
STATE OF OHIO)

COUNTY OF LORAIN)

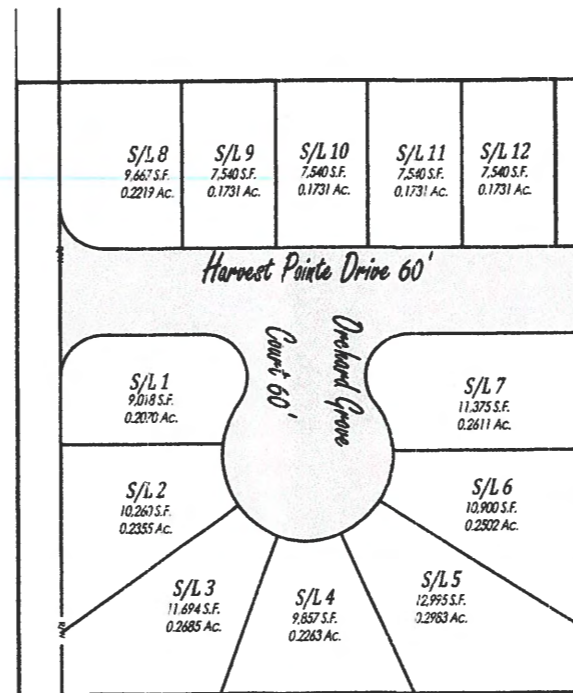
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED _____ WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 201 _____.

NOTARY PUBLIC



Vicinity Map - Scale 1" = 1000'



Site Layout - Scale 1" = 60'

AREA TABULATION:

AREA IN PROPOSED R.O.W. = 0.8331 Acres
 AREA IN EXISTING R.O.W. = 0.2934 Acres
 AREA IN SUBLOTS = 2.6412 Acres
 TOTAL AREA = 3.7677 Acres

LOT REQUIREMENTS:

MINIMUM SETBACK = SHOWN ON PLAT
 MINIMUM SIDEYARD - 5' (A TOTAL OF 15')
 MINIMUM REAR YARD = SHOWN ON PLAT

APPROVALS:

APPROVED BY THE CITY ENGINEER OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

CITY ENGINEER _____ PRINT NAME _____

APPROVED BY THE COUNCIL OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

MAYOR _____ PRINT NAME _____

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

PLANNING COMMISSION CHAIRMAN _____ PRINT NAME _____

EASEMENT GRANT:

WE, THE UNDERSIGNED, ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH TIM N. HINKLE, GENERAL MANAGER, DO HEREBY GRANT UNTO OHIO EDISON, FRONTIER TELEPHONE CO., COLUMBIA GAS, AND TIME WARNER CABLE, THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEE) A PERMANENT EASEMENT TWELVE (12) FEET IN WIDTH UNDER, OVER AND THROUGH ALL SUBLOTS AS SHOWN HEREIN, PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE DEEMED NECESSARY OR CONVENIENT BY THE GRANTEE FOR DISTRIBUTING ELECTRICITY AND COMMUNICATION SIGNALS FOR PUBLIC OR PRIVATE USE AT SUCH LOCATIONS AS GRANTEE MAY DETERMINE UPON, WITHIN, AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT TO REMOVE TREES AND LANDSCAPING INCLUDING LAWNS WITHIN AND WITHOUT SAID EASEMENT PREMISES, WHICH MAY INTERFERE WITH THE INSTALLATION, REPAIR, MAINTENANCE OR OPERATION OF SAID ELECTRIC AND COMMUNICATION FACILITIES, THE RIGHT TO INSTALL, REPAIR, AUGMENT AND MAINTAIN SERVICE CABLES OUTSIDE OF THE ABOVE DESCRIBED EASEMENT PREMISES AND THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF RIGHT OF WAY AND EASEMENT GRANT. ALL SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

BY: ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH TIM N. HINKLE, GENERAL MANAGER

TIM N. HINKLE, GENERAL MANAGER

WITNESS

WITNESS

BOUNDARY CERTIFICATION:

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNER, I HAVE SURVEYED AND PLATTED HARVEST POINTE SUBDIVISION NO. 1, AS SHOWN HEREON, AT ALL POINTS SO INDICATED, MONUMENTS WERE EITHER FOUND OR SET. DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS REFER TO THE OHIO COORDINATE SYSTEM OF 1983 - NORTH ZONE 1986 ADJUSTMENT.

THIS IS TO CERTIFY THAT THIS PLAT REPRESENTS A SURVEY IN WHICH THE TRAVERSE OF THE EXTERIOR BOUNDARIES WHEN COMPUTED FROM FIELD MEASUREMENTS WAS ACCURATE TO WITHIN A MINIMUM PRECISION OF 1:10,000 BEFORE BALANCING THE SURVEY, AND THAT ALL THE REQUIRED MONUMENTS ARE CORRECTLY SHOWN HEREON AND THAT THOSE WHICH ARE NECESSARY FOR CONSTRUCTION OF IMPROVEMENTS ARE IN PLACE ON THE SITE WITH ANY REMAINING SURVEY MONUMENTS TO BE PROPERLY PLACED UPON COMPLETION OF CONSTRUCTION.

RICHARD A. THOMPSON, JR.
 OHIO PROFESSIONAL SURVEYOR #7388
 DATE: 01/06/20



POLARIS ENGINEERING
 and SURVEYING, INC.
 34600 CHARDON ROAD - SUITE D
 WILLOUGHBY HILLS, OHIO 44094
 (440) 944-4433 (440) 944-3722 (Fax)
 www.polaris-es.com

CONTRACT No.

18175

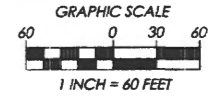
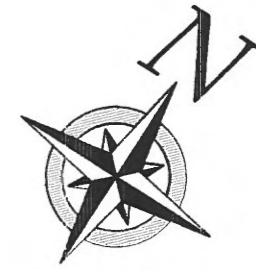
SHEET OF

01 02

Harvest Pointe Subdivision No. 1

BEARINGS REFER TO THE OHIO
STATE PLANE COORDINATE SYSTEM
OF 1983 - NORTH ZONE
(1986 ADJUSTMENT)

● = 5/8 X 30 INCH IRON PIN TO BE
SET W/L.D. CAP STAMPED "POLARIS
S-7087" UNLESS OTHERWISE NOTED



WILLIAM J. MAJCHER
INST. NO. 2018-0684135
P.P.N. 07-00-014-106-008 &
07-00-011-103-188

ROBERT F. MOORE HOLDINGS
INST. NO. 2018-0689333
P.P.N. 07-00-011-103-192

ROBERT S. & JULIA E. MOORE
INST. NO. 2003-0892624
P.P.N. 07-00-011-103-090

ROBERT S. & JULIA E. MOORE
INST. 2019-0729354
P.P.N. 07-00-011-103-074

S 58°04'37" W 989.50'(Act.) 989.57'(Dd.) to C.L.

5/8" Iron Pin
Set 67.5'
Fol./Used
S 31°46'27" E
59.46' (Act.)
60.00' (Dd.)

5/8" Iron Pin
Set 67.5'
Fol./Used
3/4" Iron Pipe
Fol. On Line
S 80°40'0" W
0.34' From Corner

S 58°06'32" W 841.33' (Act.) 841.50' (Dd.)

5/8" Iron Pin
Set 67.5'
Fol./Used

LORAIN
ROAD 60'

178°38'05" Rec
178°38'25" Act.

O.L. 14
O.L. 11

N 57°38'43" E 970.14' (Act.) 970.15' (Dd.) to C.L.

P.P.N. 07-00-011-103-067 ROBERT B. HAYES & CAROLYN L. ZACK INST. 1999-062667
SARAH L. DITZEL
INST. 1999-0617910
P.P.N. 07-00-011-103-012
MILDRED I. SMITH
INST. 1988-003260
P.P.N. 07-00-011-103-028

ROBERT B. HAYES & CAROLYN L. ZACK
INST. 1999-062667
P.P.N. 07-00-011-103-077

MILDRED I. SMITH
INST. 1988-003260
P.P.N. 07-00-011-103-076

S 57°38'43" W 970.14' (Act.) 970.15' (Dd.) to C.L.

Remaining Land
738.518 S.F.
21.5454 AC.

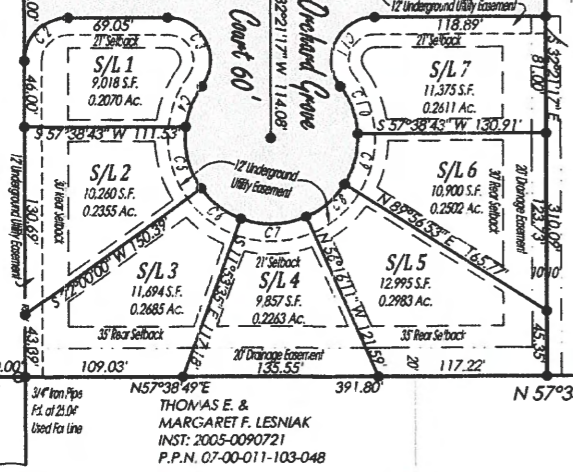
ROOT RESIDENTIAL DEVELOPMENT LLC
INST. NO. 2018-0683253
P.P.N. 07-00-011-103-189

LINE	LENGTH	BEARING
L1	11.15'	S32°21'37"E
L2	111.10'	S51°40'22"E
L3	6.75'	S57°38'43"W
L4	42.06'	N51°40'22"W
L5	60.47'	N32°21'37"W

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	TANGENT
C1	47.12'	30.00'	89°59'40"	42.42'	S77°21'27"E	30.00'
C2	47.13'	30.00'	90°00'20"	42.43'	S12°38'33"W	30.00'
C3	66.46'	30.00'	26°56'06"	53.68'	N58°53'14"W	60.09'
C4	30.57'	60.00'	29°11'38"	30.24'	S10°01'00"E	15.63'
C5	45.43'	60.00'	43°23'11"	44.36'	S46°18'24"E	23.87'
C6	35.49'	60.00'	33°53'36"	34.98'	S84°56'48"E	18.28'
C7	46.47'	60.00'	44°22'36"	45.32'	N55°55'07"E	24.47'
C8	35.38'	60.00'	33°46'56"	34.87'	N16°50'21"E	18.22'
C9	36.91'	60.00'	35°14'48"	36.33'	N17°40'31"W	19.06'
C10	35.60'	60.00'	33°59'27"	35.08'	N52°17'39"W	18.34'
C11	66.46'	30.00'	26°56'06"	53.68'	S05°49'19"E	60.09'

ROOT ROAD 60'
"A PUBLIC RIGHT-OF-WAY"

Harvest Pointe Drive 60'



60' Temporary
Easement
(To be Eminent Upon
Extension of Street)

N 57°38'49" E 1213.64' (Act.) 1213.38' (Dd.) To C.L.

CITY OF NORTH RIDGEVILLE
VOL. 1238, PG. 267 D.R.
P.P.N. 07-00-011-103-058

THOMAS E. &
MARGARET F. LESNIAK
INST. 2005-0090721
P.P.N. 07-00-011-103-048



**POLARIS ENGINEERING
AND SURVEYING, INC.**
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com

CONTRACT No.	
18175	
SHEET	OF
02	02

Harvest Pointe Subdivision No. 1

RECEIVED
By Michelle A. Owens at 3:06 pm, Apr 15, 2020

P.P.N. 07-00-011-103-189, Root Residential Development LLC
Known as Being a part of Lots 11 & 14, Original Ridgeville Township 16 North,
Range 6 West within the Connecticut Western Reserve
City of North Ridgeville - County of Lorain - State of Ohio
April 2020 Scale 1"=60'

OWNERS CONSENT:

WE THE UNDERSIGNED ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER, AND HOLDERS OF LIENS AND OTHER INTERESTS IN AND TO THE LANDS EMBRACED WITHIN THIS SUBDIVISION, DO HEREBY DECLARE THIS PLAT TO BE OUR FREE ACT AND DEED, AND DO HEREBY DEDICATE TO PUBLIC USE, FOREVER, THE STREETS AND RIGHT OF WAYS, EASEMENTS, AND OPEN SPACES, EXCEPTING THE EXISTING EASEMENTS, SHOWN ON THIS PLAT.

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE **HARVEST POINTE SUBDIVISION HOMEOWNERS ASSOCIATION OR PROPERTY OWNER**, RESPONSIBILITIES FOR "DRAINAGE EASEMENTS" AS SHOWN HEREON, OUTSIDE OF THE PUBLIC RIGHT OF WAY, ARE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES.

WE, THE OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT TO **THE CITY OF NORTH RIDGEVILLE**, ITS SUCCESSORS AND ASSIGNS, "STORM SEWER EASEMENT" AS SHOWN HEREON WITH RIGHTS TO ACCESS, LAY, MAINTAIN, REPLACE, AND/OR REMOVE STORM SEWERS, INLETS, DITCHES, SWALES, EARTH MOUNDS, PLANTINGS, AND/OR OTHER APPURTENANCES, THE INDIVIDUAL PROPERTY OWNER, OVER WHICH SAID EASEMENT LIES, SHALL BE RESPONSIBLE FOR THE DAILY NORMAL MAINTENANCE OF THE EASEMENT AREA SUCH AS MOWING, LEAF COLLECTION AND DISPOSAL, AND ANY OTHER SIMILAR MAINTENANCE NOT REQUIRING THE USE OF SPECIAL OR HEAVY EQUIPMENT. ANY REGRADING OF THE EASEMENT AREA SHALL BE SUBJECT TO CITY CODES.

OWNER:

ROOT RESIDENTIAL DEVELOPMENT LLC.

RYAN E. SHULTHEISS, CONTROLLER

STATE OF OHIO)

COUNTY OF LORAIN)

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED, ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC

MORTGAGE RELEASE:

THIS IS TO CERTIFY THAT THE UNDERSIGNED _____ HOLDER OF A MORTGAGE DEED ON LANDS SHOWN WITHIN THIS FINAL PLAT, HAVING EXAMINED SAID FINAL PLAT, DO HEREBY ACCEPT THE SAME TO BE CORRECT AND CONSENT TO DEDICATE TO PUBLIC USE THE STREETS SHOWN HEREON.

SIGNED _____ MORTGAGEE

STATE OF OHIO)

COUNTY OF LORAIN)

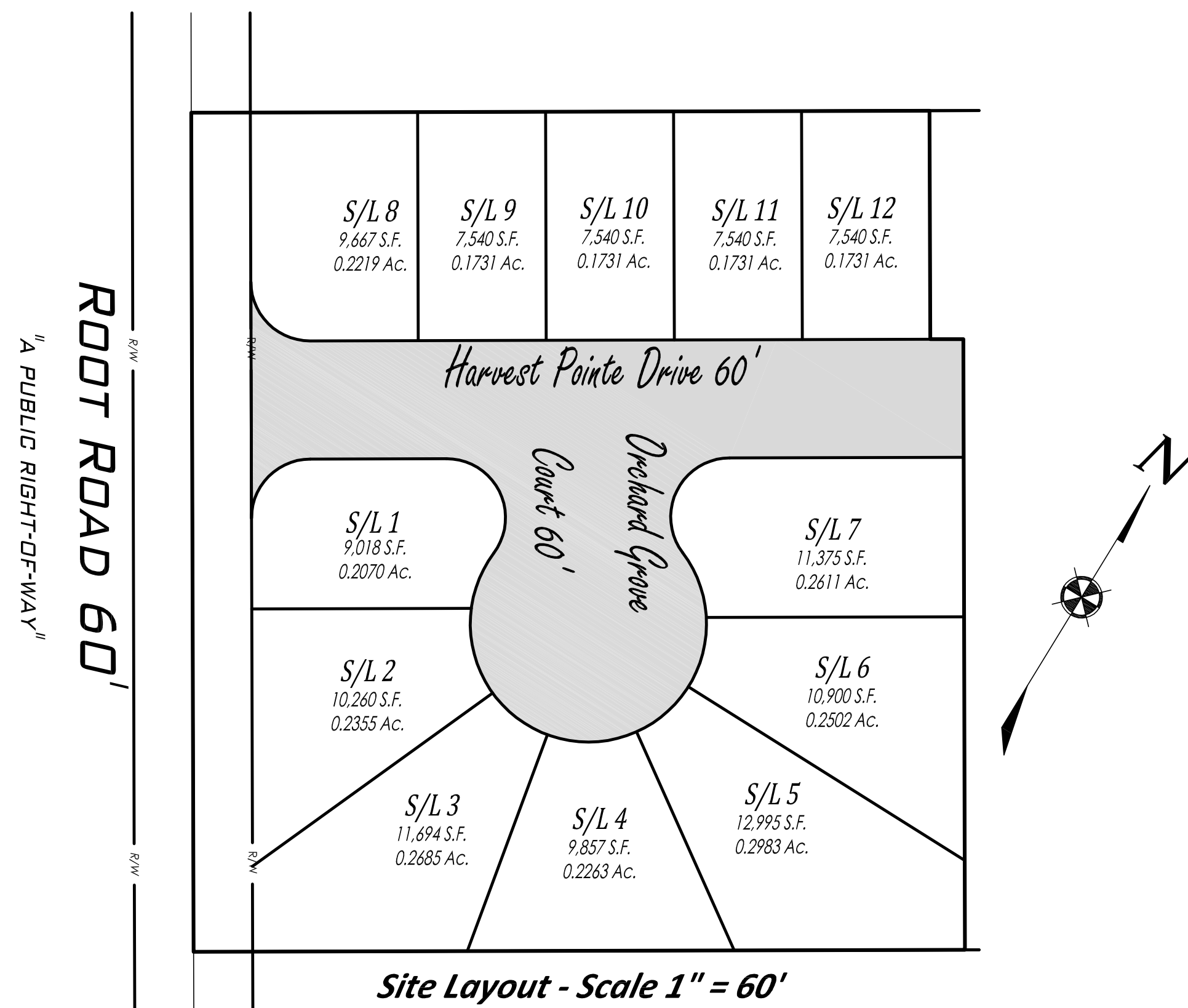
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED, _____ WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC



Vicinity Map - Scale 1" = 1000'



Site Layout - Scale 1" = 60'

AREA TABULATION:

AREA IN PROPOSED R.O.W. = 0.8331 Acres
AREA IN EXISTING R.O.W. = 0.2934 Acres
AREA IN SUBLOTS = 2.6612 Acres
TOTAL AREA = 3.7877 Acres

LOT REQUIREMENTS:

MINIMUM SETBACK = SHOWN ON PLAT
MINIMUM SIDEYARD - 5' (A TOTAL OF 15')
MINIMUM REAR YARD = SHOWN ON PLAT

APPROVALS:

APPROVED BY THE CITY ENGINEER OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

CITY ENGINEER _____ PRINT NAME

APPROVED BY THE COUNCIL OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

MAYOR _____ PRINT NAME

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF NORTH RIDGEVILLE THIS _____ DAY OF _____, 2020.

PLANNING COMMISSION CHAIRMAN _____ PRINT NAME

EASEMENT GRANT:

WE THE UNDERSIGNED, ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER, DO HEREBY GRANT UNTO OHIO EDISON, FRONTIER TELEPHONE CO., COLUMBIA GAS, AND TIME WARNER CABLE, THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEE) A PERMANENT EASEMENT TWELVE (12) FEET IN WIDTH UNDER, OVER AND THROUGH ALL SUBLOTS AS SHOWN HEREIN, PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE DEEMED NECESSARY OR CONVENIENT BY THE GRANTEE FOR DISTRIBUTING ELECTRICITY AND COMMUNICATION SIGNALS FOR PUBLIC OR PRIVATE USE AT SUCH LOCATIONS AS GRANTEE MAY DETERMINE UPON, WITHIN, AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT TO REMOVE TREES AND LANDSCAPING INCLUDING LAWNS WITHIN AND WITHOUT SAID EASEMENT PREMISES, WHICH MAY INTERFERE WITH THE INSTALLATION, REPAIR, MAINTENANCE OR OPERATION OF SAID ELECTRIC AND COMMUNICATION FACILITIES, THE RIGHT TO INSTALL, REPAIR, AUGMENT AND MAINTAIN SERVICE CABLES OUTSIDE OF THE ABOVE DESCRIBED EASEMENT PREMISES AND THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF RIGHT OF WAY AND EASEMENT GRANT. ALL SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

BY: ROOT RESIDENTIAL DEVELOPMENT LLC THROUGH RYAN E. SHULTHEISS, CONTROLLER

RYAN E. SHULTHEISS, CONTROLLER _____ WITNESS

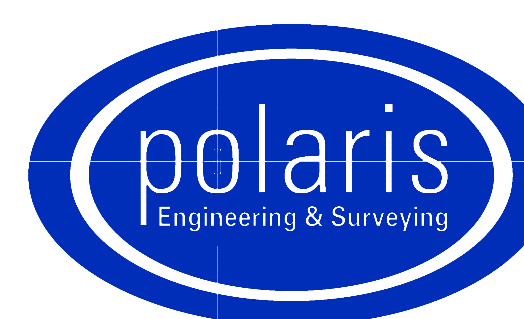
_____ WITNESS

BOUNDARY CERTIFICATION:

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNER, I HAVE SURVEYED AND PLATTED HARVEST POINTE SUBDIVISION NO. 1, AS SHOWN HEREON. AT ALL POINTS SO INDICATED, MONUMENTS WERE EITHER FOUND OR SET. DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS REFER TO THE OHIO COORDINATE SYSTEM OF 1983 - NORTH ZONE 1986 ADJUSTMENT.

THIS IS TO CERTIFY THAT THIS PLAT REPRESENTS A SURVEY IN WHICH THE TRAVERSE OF THE EXTERIOR BOUNDARIES WHEN COMPUTED FROM FIELD MEASUREMENTS WAS ACCURATE TO WITHIN A MINIMUM PRECISION OF 1:10,000 BEFORE BALANCING THE SURVEY, AND THAT ALL THE REQUIRED MONUMENTS ARE CORRECTLY SHOWN HEREON AND THAT THOSE WHICH ARE NECESSARY FOR CONSTRUCTION OF IMPROVEMENTS ARE IN PLACE ON THE SITE WITH ANY REMAINING SURVEY MONUMENTS TO BE PROPERLY PLACED UPON COMPLETION OF CONSTRUCTION.

RICHARD A. THOMPSON, JR.
OHIO PROFESSIONAL SURVEYOR #7388
DATE: 04/07/20



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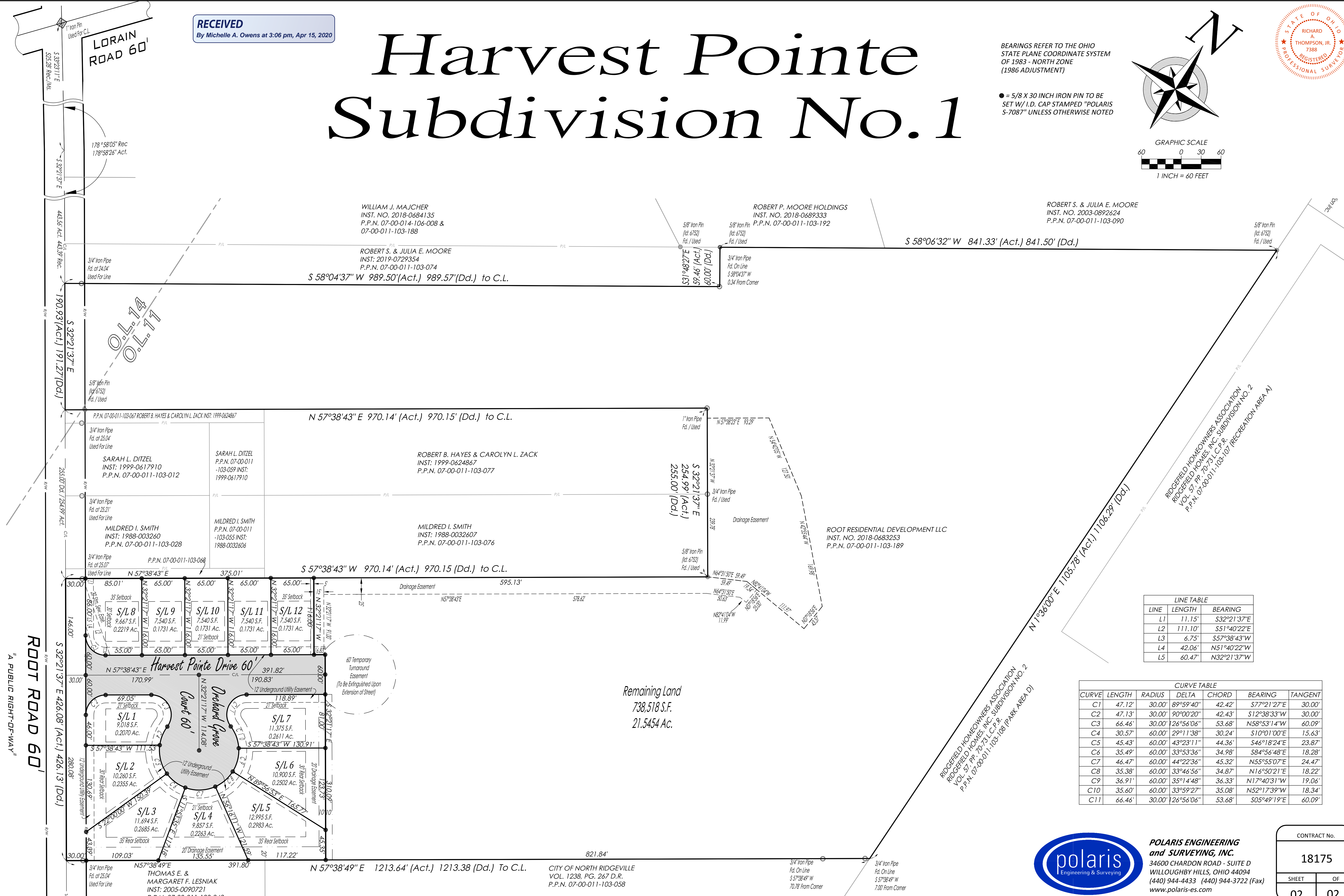
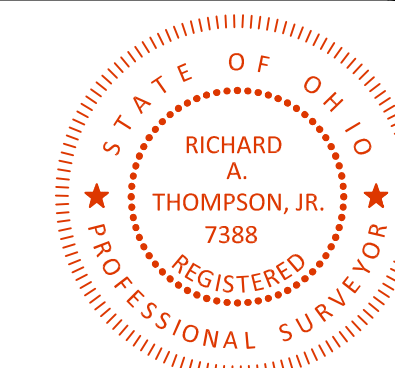
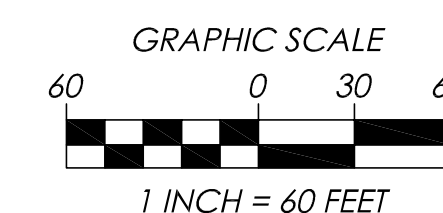
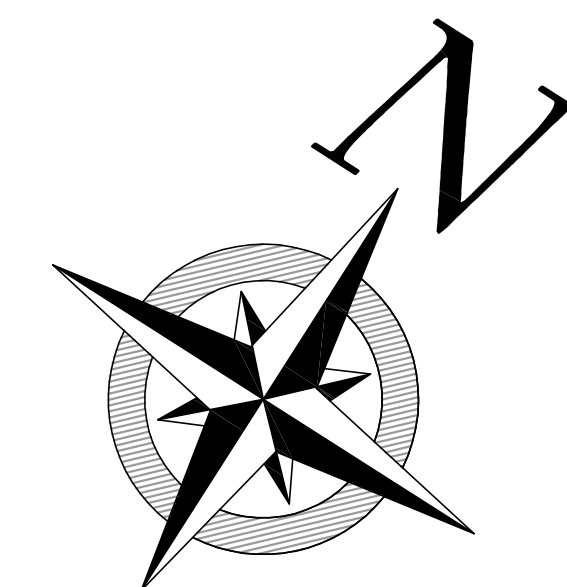
CONTRACT No.	
18175	
SHEET	OF
01	02

RECEIVED
By Michelle A. Owens at 3:06 pm, Apr 15, 2020

Harvest Pointe Subdivision No. 1

BEARINGS REFER TO THE OHIO
STATE PLANE COORDINATE SYSTEM
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(1986 ADJUSTMENT)

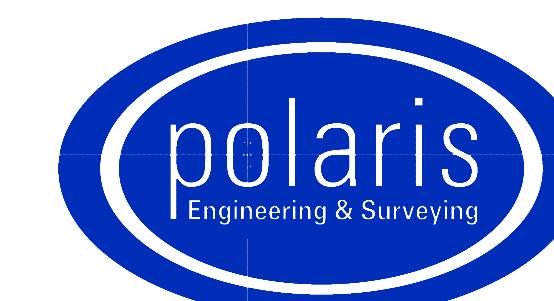
● = 5/8 X 30 INCH IRON PIN TO BE
SET W/ I.D. CAP STAMPED "POLARIS
S-7087" UNLESS OTHERWISE NOTED



Remaining Land
738,518 S.F.
21,5454 Ac.

LINE TABLE		
LINE	LENGTH	BEARING
L1	11.15'	S32°21'37"E
L2	111.10'	S51°40'22"E
L3	6.75'	S57°38'43"W
L4	42.06'	N51°40'22"W
L5	60.47'	N32°21'37"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	TANGENT
C1	47.12'	30.00'	89°59'40"	42.42'	S77°21'27"E	30.00'
C2	47.13'	30.00'	90°00'20"	42.43'	S12°38'33"W	30.00'
C3	66.46'	30.00'	126°56'06"	53.68'	N58°53'14"W	60.09'
C4	30.57'	60.00'	29°11'38"	30.24'	S10°01'00"E	15.63'
C5	45.43'	60.00'	43°23'11"	44.36'	S46°18'24"E	23.87'
C6	35.49'	60.00'	33°53'36"	34.98'	S84°56'48"E	18.28'
C7	46.47'	60.00'	44°22'36"	45.32'	N55°55'07"E	24.47'
C8	35.38'	60.00'	33°46'56"	34.87'	N16°50'21"E	18.22'
C9	36.91'	60.00'	35°14'48"	36.33'	N17°40'31"W	19.06'
C10	35.60'	60.00'	33°59'27"	35.08'	N52°17'39"W	18.34'
C11	66.46'	30.00'	126°56'06"	53.68'	S05°49'19"E	60.09'



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CONTRACT No.	
18175	
SHEET	OF
02	02

BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR IS TO SUPPLY A SWP3 SIGNED BY THE CONTRACTOR AND ALL OF HIS SUBCONTRACTORS TO THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT.

"THE UNDERSIGNED HAS BECOME INFORMED AND UNDERSTANDS THEIR ROLE AND RESPONSIBILITY IN COMPLYING WITH THE STORM WATER POLLUTION PREVENTION PLAN"

CONTRACTOR: _____ BY: _____ DATE: _____

NOTES:
1. STREET LIGHTING REQUIRED TO BE INSTALLED BY THE DEVELOPER

2. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUPPLY A SIGNED CONSTRUCTION SET ACKNOWLEDGING THEIR RESPONSIBILITY TO FOLLOW THE SWPPP FOR THIS PROJECT.

THE UNDERSIGNED HAS BEEN INFORMED AND UNDERSTANDS THEIR ROLE AND RESPONSIBILITY IN COMPLYING WITH THIS STORM WATER POLLUTION PREVENTION PLAN:

CONTRACTOR: _____

BY: _____ DATE: _____

CONTRACTOR: _____

BY: _____ DATE: _____

CONTRACTOR: _____

BY: _____ DATE: _____


IMPROVEMENT PLANS FOR HARVEST POINTE SUBDIVISION No.1

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO
DECEMBER, 2019

STREET LIGHTING NOTE:
STREET LIGHTING IS REQUIRED PER CNRO SECTION 1226.15. LAYOUT TO BE PROVIDED TO THE CITY FOR REVIEW AND APPROVAL. LED LIGHT FIXTURES TO BE USED.

SYMBOL LEGEND	
● Ex. Clean Out	→ Guy Wire
□ Ex. Catch Basin	Power Pole
■ Prop. Catch Basin	Light Power Pole
■ Ex. Curb Inlet	Light Pole
■ Prop. Curb Inlet	Traffic Signal Pole
○ Ex. Yard Drain	Traffic Signal Box
○ Ex. Manhole	Cable TV Box
○ Ex. Sanitary Manhole	Electrical Box
○ Prop. Sanitary Manhole	Telephone (SAC) Box
○ Ex. Storm Manhole	Tree
● Prop. Storm Manhole	Pine Tree
● Storm Inlet MH	Bush
WV Ex. Water Valve	Yard Light
○ Prop. WL Valve	Gasline Marker
○ Water Meter	Power Transformer
○ Ex. Fire Hydrant	SCB Sprinkler Control Box
○ Prop. Hydrant	SH Sprinkler Head
○ Well	Sign
○ Gas Valve	Test Bore
○ Gas Meter	Guard Post
	Stump
	Mailbox

DESIGNED BY:



POLARIS ENGINEERING & SURVEYING, INC.
34800 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
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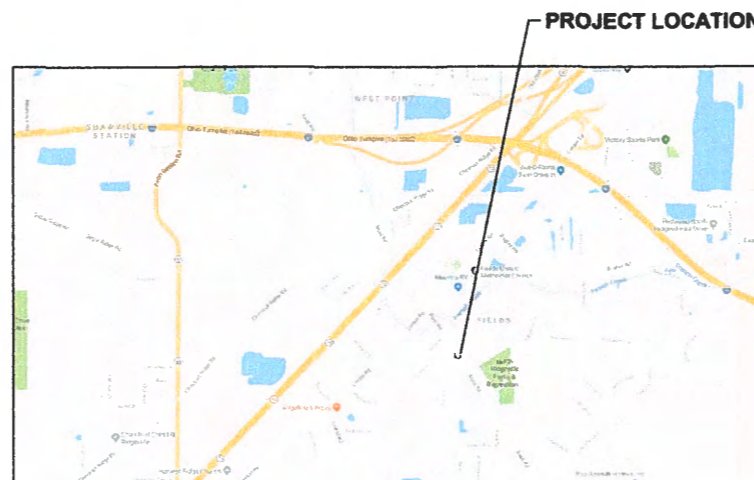


SITE MAP
N.T.S.

DEVELOPED BY:
ROOT DEVELOPMENT AND CONSTRUCTION LLC.
36097 WESTMINSTER AVENUE
NORTH RIDGEVILLE, OHIO 44039
PHONE: (440) 353-2822
CONTACT: RYAN SCHULTHEISS

DRAWING INDEX

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VICINITY MAP
N.T.S.

APPROVALS

SEWER APPROVED BY O.E.P.A. BY LETTER DATED: JULY 22, 2019.

WATER APPROVED BY O.E.P.A. BY LETTER DATED: AUGUST 13, 2019.

APPROVED BY THE CITY OF NORTH RIDGEVILLE, OHIO:

BY: _____ DATE: _____
DANIEL A. RODRIGUEZ, PE
CITY OF NORTH RIDGEVILLE ENGINEER



Dustin R. Keeney
ENGINEER P.E. #65515 12/11/19

TITLE SHEET

CONTRACT No.

18175

SHEET OF

1 20

CITY OF NORTH RIDGEVILLE STANDARD GENERAL NOTES

GENERAL

1. ALL WORK AND MATERIALS SHALL MEET THE RULES, LAWS & CODES OF THE CITY OF NORTH RIDGEVILLE.
2. THE FOLLOWING UTILITIES MAY BE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT:

PAVEMENTS	CITY OF NORTH RIDGEVILLE	(440) 353-0842
STORM SEWERS	CITY OF NORTH RIDGEVILLE	(440) 353-0842
SANITARY SEWERS	CITY OF NORTH RIDGEVILLE	(440) 353-0842
WATERLINES	CITY OF NORTH RIDGEVILLE	(440) 353-0842
GAS-COLUMBIAS GAS	DAN SUREN	(440) 881-2428
TELEPHONE-WINDSTREAM	GEOFF HAMM	(440) 328-4247
ELECTRIC-OHIO EDISON	MIKE ZANNI	(440) 328-3271
CABLE-SPECTRUM	RON HRIBAL	(440) 386-0416 (EXT. 025)
WATER TRANSMISSION	AVON LAKE MUNICIPAL UTILITIES	(440) 933-6228
3. THE CONTRACTOR SHALL VERIFY THE ABOVE INFORMATION WITH OUPS WHEN HE CONTACTS THEM BEFORE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION AND NOTIFY EACH RESPECTIVE UTILITY OWNER FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. WHERE IN ANY CASE THE PLANS AND SPECIFICATIONS DO NOT ENTIRELY COVER MATERIALS AND/OR WORKMANSHIP, THE "STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION WILL APPLY. ODOT REFERENCES MAY BE INDICATED THROUGHOUT THE PLANS. MATERIAL AND WORKMANSHIP SHALL ALSO CONFORM TO THE SPECIFICATIONS, RULES AND ORDINANCES OF THE CITY OF NORTH RIDGEVILLE. WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY ENGINEER SHALL DETERMINE THE GOVERNING AUTHORITY. ANY DEFECTS IN THE CONSTRUCTION INCLUDING MATERIALS OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER. REFERENCES THROUGHOUT THESE PLANS TO "THE ENGINEER" SHALL BE THE CITY ENGINEER.
6. ALL WORK SHALL BE DONE IN A SAFE MANNER AND AS A MINIMUM SHALL COMPLY WITH THE SPECIFIC SAFETY REQUIREMENTS OF THE OSHA AS DEFINED IN 29 CFR 1928.
7. AT LEAST FIVE DAYS PRIOR TO THE START OF ACTUAL CONSTRUCTION WORK, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE DIRECTION OF THE CITY OF NORTH RIDGEVILLE ENGINEER AND APPROPRIATE CITY OFFICIALS, AND THE OWNER'S ENGINEER. THE CONTRACTOR OR HIS AUTHORIZED SUPERINTENDENT SHALL BE PRESENT, ALONG WITH ANY AND ALL PRIVATE UTILITY COMPANY REPRESENTATIVES. THIS MEETING WILL BE FOR COORDINATION AND PROCEDURE REVIEW PRIOR TO COMMENCING ANY PHYSICAL WORK.
8. THE CONTRACTOR SHALL NOT COMMENCE WITH ANY FORM OF CONSTRUCTION WITHOUT GIVING 24 HOUR NOTICE TO THE OFFICE OF THE CITY ENGINEER TO ARRANGE FOR INSPECTION. IF ANY CHANGE IN THE WORK SCHEDULE BECOMES NECESSARY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE INSPECTOR TO AVOID UNNECESSARY INSPECTION COSTS. IF NO NOTIFICATION IS MADE IN REGARDS TO CANCELLATION OF WORK, THE CONTRACTOR WILL BE CHARGED A MINIMUM OF FOUR (4) HOURS.
9. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY, SUCH AS CALCIUM CHLORIDE, WATER, OR A MOTORIZED DUST-FREE STREET SWEEPING DEVICE, AS DIRECTED BY THE ENGINEER, TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY SAFEGUARDS SUCH AS BARRICADES, SATISFACTORY BARRIERS, LIGHTING, FLAGMEN, TEMPORARY GUARDRAIL, AND SUCH OTHER TRAFFIC CONTROL DEVICES AS PROVIDED IN "ITEM 614 - MAINTAINING TRAFFIC" SO AS TO AVOID DAMAGE AND/OR INJURY TO VEHICLES AND PERSONS USING THE ROADWAY DURING CONSTRUCTION. ALL AREAS OF PAVEMENT REMOVAL WHICH HAVE NOT BEEN FULLY RESTORED SHALL BE PROTECTED WITH CONES OR DRUMS DURING DAYLIGHT HOURS. THESE AREAS SHALL BE PROTECTED WITH FLASHING BARRICADES OR DRUMS WITH STEADY BURNING LIGHTS AT NIGHT. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS AS TO THE PROPOSED WORK WITH MINIMUM HAZARD, DELAY, AND INCONVENIENCE TO THE MOTORISTS USING THE STREETS AFFECTED BY THE WORK DONE UNDER THE CONTRACT AND HE SHALL COORDINATE ALL CLOSING OF STREETS WITH THE CITY ENGINEER AND THE POLICE CHIEF OF THE CITY OF NORTH RIDGEVILLE.
11. ACCESS ROADS SHALL BE KEPT FREE OF MUD, DEBRIS, DIRT, ETC. AND SHALL BE CLEANED EVERY DAY AT THE END OF WORK OR MORE FREQUENTLY IF SO ORDERED BY THE CITY OF NORTH RIDGEVILLE.
12. THE CONTRACTOR AND ANY SUBCONTRACTOR SHALL HAVE A COMPETENT SUPERVISOR ON THE PROJECT AT ALL TIMES WHEN WORK IS BEING DONE.
13. NO SLAG OR OTHER SULFUROUS MATERIAL WILL BE USED ON THE PROJECT.

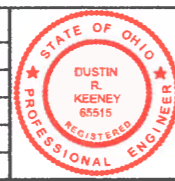
12. FOR RESIDENTIAL SUBDIVISIONS, THE TRAFFIC CONTROL SIGNS WILL BE ERECTED BY THE CITY OF NORTH RIDGEVILLE AND THE COST OF INSTALLATION WILL BE PAID BY THE DEVELOPER. THE INSTALLATION AND COST OF THE STREET NAME SIGNS AND STREET LIGHTS WILL BE DONE BY THE DEVELOPER AT HIS EXPENSE.
 13. THE CITY ENGINEER SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING THE ACTUAL CONSTRUCTION.
- EARTHWORK**
1. ALL EXCAVATION AND FILL WORK SHALL BE DONE IN ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS.
 2. THE SUBGRADE IN THE STREET SHALL BE LEFT TWO INCHES HIGH FOR THE PAVEMENT CONTRACTOR TO TRIM DOWN TO FINAL GRADE. THE CONTRACTOR SHALL PROOF ROLL THE GRADE WITH A FULLY LOADED (MAXIMUM LEGAL WEIGHT) TRAXLE DUMP TRUCK. ANY "SOFT" SPOTS SHALL BE REMOVED AND REPLACED WITH COMPACTED EARTH.
 3. EARTHWORK SHALL BE DONE IN SUCH A FASHION AS TO NOT TRAP WATER DURING CONSTRUCTION.
 4. TREE AND BRUSH CLEARING/DISPOSAL SHALL BE DONE IN A MANNER ACCEPTABLE TO THE CITY OF NORTH RIDGEVILLE.
 5. ALL PAVEMENT AREAS SHALL HAVE ALL ORGANICS AND TOPSOIL REMOVED FROM THE AREA.
 6. AT ALL TIMES DURING THE PROGRESS OF THE WORK AND UNTIL RELEASE OF THE CONTRACTOR FROM HIS GUARANTEE BY THE OWNER, THE CONTRACTOR SHALL MAINTAIN THE BACKFILLED TRENCHES AND OTHER EXCAVATIONS. IN PARTICULAR, THOSE TRENCHES OR EXCAVATIONS WHICH ARE WITHIN FIFTEEN (15) FEET OF THE EDGE OF PAVEMENT OR THE EDGE OF TRAVELED ROADWAYS, SHALL BE KEPT FILLED UP TO THE SAME LEVEL AS THE ADJACENT UNDISTURBED GROUND, ANY SETTLEMENT WHICH OCCURS DURING THIS PERIOD SHALL BE IMMEDIATELY FILLED IN TO PREVENT THE POSSIBILITY OF ACCIDENTS.
 7. WHERE EXISTING SEWERS ARE ENCOUNTERED AND ARE INTERFERED WITH, FLOWS SHALL BE MAINTAINED. SEWAGE OR OTHER LIQUID MUST BE HANDLED BY THE CONTRACTOR EITHER BY CONNECTION INTO OTHER SEWERS (WITH THE APPROVAL OF THE CITY ENGINEER) OR BY TEMPORARY PUMPING TO A SATISFACTORY OUTLET. SEWAGE OR OTHER LIQUID SHALL NOT BE PUMPED, BAILED OR FLUMED OVER THE STREET.
 8. BACKFILL SHALL INCLUDE THE MATERIAL PLACED ABOVE THE BEDDING AND SHALL CONSIST OF FINELY DIVIDED SOIL FREE FROM STONES, RUBBISH, LARGE CLUMPS OR OTHER HARMFUL DEBRIS. THE BACKFILL SHALL BE TAMPED IN SIX (6) INCH LAYERS.
 10. BACKFILL WITHIN EXISTING OR PROPOSED PAVED OR STONE STREETS, ALLEYS, DRIVEWAYS, PARKING AREA AND PROPOSED SIDEWALKS, OR WITHIN FIVE (5) FEET OF THESE AREAS SHALL CONSIST OF A DURABLE GRAVEL OR CRUSHED STONE MEETING THE REQUIREMENTS OF ITEM 304 OF THE CURRENT ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE USE OF A 304 RECYCLED CONCRETE EQUIVALENT AND SLAG IS PROHIBITED. THE GRANULAR BACKFILL SHALL BE MECHANICALLY TAMPED IN SIX (6) INCH LAYERS SO THAT THE BACKFILL WILL HAVE A DENSITY EQUAL TO A MINIMUM OF 95% OF THAT POSSIBLE UNDER OPTIMUM MOISTURE CONTENT AS DETERMINED BY STANDARD PROCTOR TEST.
- ROADWAY**
1. ALL TREES AND BRUSH, AND ANY OTHER VEGETATION WITHIN THE LIMITS OF THIS PROJECT THAT INTERFERE WITH THE CONSTRUCTION SHALL BE REMOVED FROM THE SITE. STUMPS MAY BE GROUND OUT OR REMOVED FROM THE SITE.
 2. ALL EARTHWORK SHALL HAVE INSPECTION AND TESTING AS DEEMED NECESSARY BY THE CITY OF NORTH RIDGEVILLE. SUCH INSPECTION WILL BE COORDINATED BY THE "CONTRACTOR", WHO SHALL USE A SOILS TESTING LABORATORY TO MAKE THE TESTS INCIDENTAL TO THE QUALITY CONTROL OF THE EARTHWORK OPERATION. SOIL TESTING AND CLASSIFICATION SHALL BE PERFORMED BY THE SOILS TESTING LABORATORY TO DETERMINE THE PROPER MOISTURE CONTENT AND SOIL DENSITY BEFORE BEGINNING EARTHWORK CONSTRUCTION. THE COST OF THIS INSPECTION AND TESTING WILL BE PAID BY THE CONTRACTOR. THE CONTRACTOR SHALL PRESENT HIS PLAN AND SCHEDULE FOR EARTHWORK OPERATIONS AT THE PRE-CONSTRUCTION CONFERENCE.
 3. WHERE SOFT SUBGRADE IS ENCOUNTERED, DUE TO NO FAULT OR NEGLIGENCE OF THE CONTRACTOR, IN WHICH SATISFACTORY STABILITY CANNOT BE OBTAINED BY MOISTURE CONTROL AND COMPACTION, THE UNSTABLE MATERIAL SHALL BE EXCAVATED TO THE DEPTH REQUIRED BY THE ENGINEER. BACKFILLING OF THESE EXCAVATED AREAS SHALL BE WITH EMBANKMENT MATERIAL FROM THE CONSTRUCTION PROJECT OR AGGREGATE BASE (ODOT ITEM 304) OR "AS DIRECTED BY THE ENGINEER."
 4. CONCRETE WILL BE TESTED BY AN ODOT QUALIFIED LABORATORY DURING CONSTRUCTION FOR AIR ENTRAINMENT AND SLUMP. CONCRETE TEST CYLINDERS WILL BE PREPARED FOR EACH 50 YARDS OR FRACTION THEREOF. CONCRETE BEAMS MAY BE PREPARED AT THE CONTRACTOR'S OPTION. THE CONCRETE MIX DESIGN SHALL BE APPROVED BY THE SAME TESTING LABORATORY DESIGNATED TO PERFORM THE ON-SITE INSPECTION PRIOR TO CONSTRUCTION.
 5. CONCRETE PAVEMENT CURING COMPOUND SHALL BE BLENDURE A FROM CHEMMASTERS, 300 EDWARDS ST., MADISON, OHIO, 44057.

6. IN AREAS OF HIGH GROUNDWATER OR WHERE SURFACE SEEPAGE HAS BEEN OBSERVED IT MAY BE NECESSARY TO CONSTRUCT DRAINS PERPENDICULAR TO THE PROPOSED PAVEMENT. THESE UNCLASSIFIED PIPE UNDERDRAINS, CONSTRUCTED IN ACCORDANCE WITH ODOT ITEM 605, SHALL BE 3 FEET BELOW PAVEMENT GRADE AND CONNECTED INTO THE APPROPRIATE STORM CONDUIT OR OUTLET. CONDUIT SHALL BE 6" DIAMETER PERFORATED PVC TYPE PS-48 PIPE CONFORMING TO ASTM F-788 OR 6" DIAMETER PERFORATED PSM POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D-3034 SDR 35, WITH GEOTEXTILE DRAIN SLEEVE MEETING THE REQUIREMENTS OF ODOT 712.06, TYPE A, AND WITH NO. 8 STONE OR GRAVEL AGGREGATE.
- UNDERGROUND INSTALLATIONS - GENERAL**
1. THE VARIOUS UNDERGROUND INSTALLATION ITEMS SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL EXCAVATION, MATERIAL, LABOR, BEDDING, BACKFILL, COMPACTION, EQUIPMENT, UTILITY PROTECTION, MAINTENANCE OF ROADWAYS AND DRIVES UNTIL FINAL REPLACEMENT, PUMPING AND/OR DEWATERING, CONSTRUCTION AND REMOVAL OF ALL NECESSARY TRENCH PROTECTION AND ALL OTHER INCIDENTAL ITEMS NECESSARY TO INSTALL SUCH UTILITY. THE CONTRACTOR IS TO TOTALLY FAMILIARIZE HIMSELF WITH THE GROUND CONDITIONS THAT NOW DO OR MAY EXIST DURING THE CONSTRUCTION SO AS NOT TO ADVERSELY AFFECT THE INTEGRITY OF ANY UTILITY INSTALLATION OR STRUCTURE ON THE CONSTRUCTION SITE OR ADJACENT PROPERTIES.
 2. ALL SANITARY SEWER AND STORM SEWER CONSTRUCTION SHALL CONFORM WITH ODOT ITEM 611.
 3. ANY UNSUITABLE MATERIAL, MATERIAL NOT APPROVED BY THE ENGINEER FOR BACKFILL AND MATERIAL IN EXCESS OF THAT REQUIRED FOR BACKFILLING SHALL BE DISPOSED OF BY THE CONTRACTOR ON THE SITE.
 4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT ANY CAVING OR SETTLING OF EXCAVATION OR TRENCH WALLS WHICH COULD ENDANGER THE SAFETY OF ANY PERSON ENGAGED IN THE WORK OR IN ANY WAY DAMAGE THE UNDERGROUND INSTALLATIONS OF ADJACENT UTILITY OR PROPERTY; OR DIMINISH THE TRENCH WIDTH NECESSARY FOR THE PROPER CONSTRUCTION OF THE UNDERGROUND INSTALLATION OR OTHERWISE INJURE OR DELAY THE WORK. THE TYPE AND AMOUNT OF SUCH PROTECTION, SUCH AS TRENCH BOXES, SHEETING, SHORING, OR BRACING SHALL BE CONSISTENT WITH THE DEPTH AND WIDTH OF EXCAVATION, THE COMPOSITION AND WATER CONTENT OF THE SOIL IN THE PROXIMITY OF STRUCTURES OR OTHER UTILITIES, THE VIBRATION FROM EQUIPMENT AND THE SPOT PLACEMENT, AND SHALL BE IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 5. IN ORDER TO REDUCE GROUND WATER SEEPAGE AND PROVIDE A STABLE TRENCH IT MAY BE NECESSARY TO DEWATER PRIOR TO EXCAVATION OF THE SEWER TRENCH AND/OR PROVIDE TEMPORARY SHELTERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT STRUCTURES, PAVEMENTS, OR UTILITIES, OR LOSS OF PRIVATE WELL WATER RESULTING FROM DEWATERING, LOSS OF GROUND, HEAVE, TRENCH CONSTRUCTION, AND ANY OTHER CONSTRUCTION METHODS. THE CONTRACTOR SHALL PROTECT ALL EXISTING SEWERS AND UTILITIES THAT THE PROPOSED INSTALLATION CROSSES BY COMPACTING THE BACKFILL UNDER SUCH EXISTING FACILITIES OR SHALL PROTECT THE EXISTING FACILITY IN A MANNER AS APPROVED BY THE ENGINEER. IF SHEETING IS USED, IT MAY BE NECESSARY TO DRIVE THE SHEETING SEVERAL FEET BELOW THE BOTTOM OF THE PIPE. WHEN USING MOVABLE TRENCH SUPPORTS OR SHEETING, CARE MUST BE EXERCISED SO AS NOT TO OBTURB THE PIPE LOCATION, JOINTING OR BEDDING MATERIAL. IF STEEL SHEETING IS USED IT SHALL BE HELD IN PLACE BY LONGITUDINAL BEAMS AND CROSS BRACES OR STRUTS AS REQUIRED TO RESTRAIN THE TOP OF THE SHEETING. IF TIMBER SHEETING AND BRACING IS USED, IT MUST BE OF GOOD QUALITY AND OF HARDWOOD CONSTRUCTION. AFTER THE PIPE HAS BEEN INSTALLED AND THE BALANCE OF THE BEDDING MATERIAL HAS BEEN PLACED OVER THE PIPE, THE REMOVAL OF ANY TRENCH PROTECTION SHALL BE CAREFULLY CONTROLLED. THE CONTRACTOR SHALL DEMONSTRATE THAT THE REMOVAL OF THE TRENCH PROTECTION WILL NOT ADVERSELY AFFECT THE PIPE LOCATION AND BEDDING. IF SHEETING CANNOT BE REMOVED WITHOUT ADVERSELY AFFECTING THE PIPE AND BEDDING LOCATION, THE ENGINEER MAY ORDER THE SHEETING CUT OFF AT SOME POINT, AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE AND LEFT IN PLACE.
 6. PRIOR TO ANY CONNECTION INTO AN EXISTING SEWER MANHOLE OR CONDUIT THE CONTRACTOR SHALL TAKE SUCH MEASURES AS NECESSARY, "AS APPROVED BY THE ENGINEER", (I.E. TEMPORARY PLUGS, SAND BAGS, ETC.) DURING THE COURSE OF THE CONSTRUCTION OF THE PROPOSED SEWERS, TO GUARD AGAINST ANY DRAINAGE FROM ENTERING THE EXISTING SYSTEM AND POSSIBLY CONTAMINATING SUCH SYSTEM WITH S.L.T.

7. WHERE THE PROPOSED IMPROVEMENTS CROSS EXISTING OR PROPOSED PAVEMENTS, INCLUDING A POINT FIVE (5) FEET BEYOND SUCH CROSSINGS, OR WHERE THE CONSTRUCTION METHODS USED BY THE CONTRACTOR RESULT IN THE TRENCH WALL BEING LESS THAN 3 FEET FROM THE EDGE OF THE PAVEMENT, THE ENTIRE TRENCH BACKFILL SHALL BE COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS WITH MECHANICAL TAMPERS MEETING NINETY-EIGHT (98) PERCENT OF MAXIMUM LABORATORY DRY WEIGHT.
 8. THE LINE AND GRADE OF SEWER MAINS SHALL BE CONTROLLED DURING THE SEWER CONSTRUCTION BY USE OF AN APPROVED LASER DEVICE.
 9. AT ALL STORM SEWER MAIN AND SANITARY SEWER MAIN INTERSECTIONS (CROSSINGS) WHEN PIPE CLEARANCE IS LESS THAN 18", THE LOWER PIPE SHALL BE ENCASED AND THE UPPER PIPE SHALL BE MONOLITHICALLY CRAWLED IN 2500 PSI CONCRETE FOR THE WIDTH OF THE TRENCH. AT PIPE CROSSINGS GREATER THAN 18" THE BACKFILL BELOW THE UPPER PIPE SHALL BE COMPACTED IN PLACE TO THE SATISFACTION OF THE ENGINEER.
- STORM SEWERS**
1. STORM SEWER CONDUIT SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: STORM CONDUIT BETWEEN STREET BASINS AND CONNECTING TO MANHOLE SHALL BE (A) ONLY IF COVER IS LESS THAN OR EQUAL TO ONE FOOT MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUBGRADE, OR MAY BE (E) IF COVER IS GREATER THAN ONE FOOT MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUBGRADE. ALL FOOTING DRAIN CONNECTIONS SHALL BE (B), ONLY.
 - A. REINFORCED CONCRETE PIPE ASTM C-76, "B" OR "C" WALL, 8 FOOT LENGTHS, WITH AN "O" RING CONFINED GASKET JOINT PER ASTM C-443. (A) 12" & LARGER DIA. CLASS IV.
 - B. POLYVINYL CHLORIDE (PVC) ASTM D-3034 (SDR 35) (ODOT 707.45) WITH GASKET MATERIAL CONFORMING TO ASTM F-477 AND JOINTS PER ASTM D-3212 OR SOLVENT CEMENT JOINTS PER ASTM D-2564.
 - C. PERMA-LOC (PVC) AASHTO SPECIFICATION IN M-304M (ODOT 707.43) WITH INTEGRAL BELL GASKET JOINTS IN ACCORDANCE WITH ASTM D-3212 AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - D. ULTRA-RIB (PVC) ASTM F 794 (ODOT 707.43) WITH INTEGRAL BELL AND SPIGOT JOINT IN ACCORDANCE WITH ASTM D-3212 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - E. SMOOTH INTERIOR, CORRUGATED, HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO AASHTO SPECIFICATIONS M252 TYPE S AND M-284 TYPE S, (ODOT 707.33) ADS M-12, HANCOR H-Q, OR APPROVED EQUAL. THE JOINTS SHALL BE SILT-TIGHT AND THE GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477 (HOT PRESSURE RATED), INSTALLED IN ACCORDANCE WITH ASTM D-3212 AND MANUFACTURER'S RECOMMENDATIONS.
 2. OTHER OPTIONAL MATERIALS MAY BE USED WHEN APPROVED BY THE CITY ENGINEER.
 3. UNDERDRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ODOT ITEM 605. CONDUIT SHALL BE 6" DIAMETER PVC TYPE PS-48 PIPE CONFORMING TO ASTM F-788, OR 6" DIAMETER PSM POLYVINYLCHLORIDE (PVC) PIPE CONFORMING TO ASTM D-3034 SDR 35, WITH A GEOTEXTILE SLEEVE MEETING THE REQUIREMENTS OF ODOT ITEM 712.06, TYPE A, AND WITH THE GRANULAR MATERIAL BEING NO. 57 AGGREGATE (NO SLAG)
 4. ROOF DRAINS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS. NO CONNECTION TO STORM SEWER.
 5. AT LEAST 60 DAYS PRIOR TO THE END OF THE PERIOD FOR WHICH IMPROVEMENTS ARE COVERED BY MAINTENANCE BONDS, THE DEVELOPER SHALL CLEAN AND VIDEO TAPE THE STORM SEWER, SANITARY SEWER AND MANHOLES, OR CAUSE THIS TO BE DONE BY A SUBCONTRACTOR OR BUILDER(S) WHO THE DEVELOPER HOLDS RESPONSIBLE PRIOR TO RELEASE OF THE MAINTENANCE BONDS COVERING THE IMPROVEMENTS. TWO (2) COPIES OF THE VIDEO TAPE(S) AND A WRITTEN REPORT OF THE RESULTS SHALL BE FURNISHED TO THE DEVELOPER AND THE CITY ENGINEER, BOTH THE TAPING AND THE WRITTEN REPORT SHALL BE DONE TO THE SATISFACTION OF THE DEVELOPER AND THE CITY ENGINEER OR THEIR DESIGNERS. ANY AND ALL PROBLEMS DISCOVERED SHALL BE REMEDIATED WITHIN TEN (10) WORKING DAYS BY THE DEVELOPER OR BY THE PARTY THE DEVELOPER SHALL CAUSE TO REMEDIATE THE PROBLEMS, IF ANY.
 6. ALL MAIN LINE STORM SEWERS SHALL BE CLEANED AND VIDEOTAPE IMMEDIATE Y AFTER CONSTRUCTION AND THE VIDEOTAPE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. ALL DEFECTS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR.

OCTOBER 1, 2008 - REV. 5/11/08, 8/29/09, 12/7/09, 8/18/16
5/9/17, 6/28/17

REV. No.	DATE	BY



DATE: 12/1/18
SCALE: HOR. NA
VERT. NA
FOLDER: DWS/Improvement
FILENAME: Title Notes Details
TAB: 2-General Notes
DRAWN: SRV

**HARVEST POINTE
SUBDIVISION No 1**
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3480 CHARDON ROAD - SUITE D
MILLCREEK HILLS, OHIO 44084
(440) 944-4433 (440) 944-5172 (FAX)
www.polaris-es.com



GENERAL NOTES

CONTRACT No.	
18175	
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CITY OF NORTH RIDGEVILLE STANDARD GENERAL NOTES

SANITARY SEWERS

1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
2. THE SANITARY SEWER SHALL PASS A LOW PRESSURE AIR TEST AND A 5% DEFLECTION TEST. THESE TESTS SHALL BE CONDUCTED BY A COMPETENT TESTER, PREFERABLY AN INDEPENDENT TESTING COMPANY.
 - A. DEFLECTION TEST:

IF PVC PIPE IS USED, THE DEFLECTION TEST WILL BE RUN NOT LESS THAN 30 DAYS NOR MORE THAN 45 DAYS AFTER THE FINAL AND FULL BACKFILL HAS BEEN PLACED. THE TEST IS REQUIRED ON ALL PVC PIPE. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY EQUIPMENT FOR THE DEFLECTION TESTING. ALL EQUIPMENT SHALL BE APPROVED BY THE CITY OF NORTH RIDGEVILLE PRIOR TO THE START OF TESTING. WHERE POSSIBLE, ELECTRONIC EQUIPMENT SHALL BE USED TO MEASURE AND RECORD THE DEFLECTION IN THE FLEXIBLE PIPE. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE PERCENT. IF SUCH EQUIPMENT IS NOT AVAILABLE, THE DEFLECTION TEST CAN BE RUN BY THE USE OF MANDRELS, HAVING A DIAMETER EQUAL TO NINETY-FIVE (95) PERCENT OF THE INSIDE DIAMETER OF THE PIPE, PULLED THROUGH THE SEWER WITHOUT MECHANICAL PULLING DEVICES. MANDRELS SHALL BE CONSTRUCTED WITH AT LEAST NINE EVENLY SPACED ARMS OR PRONGS. A METAL PROVING RING SHALL BE PROVIDED TO VERIFY THE ACCURACY OF THE MANDREL TO THE CITY ENGINEER. THE LENGTH OF THE MANDREL SHALL BE EIGHT INCHES FOR EIGHT INCH PIPE, TEN INCHES FOR TEN AND TWELVE INCH PIPE. IF ANY SECTION OF CONDUIT EXCEEDS THE DEFLECTION OF FIVE PERCENT, THE NECESSARY CORRECTIONS SHALL BE MADE. CONDUIT WHICH HAS DEFLECTED MORE THAN FIVE PERCENT MUST BE CORRECTED TO THE SATISFACTION OF THE CITY ENGINEER BY THE CONTRACTOR. THE PIPE SHALL BE MEASURED IN COMPLIANCE WITH ASTM D2122.
 - B. THE LEAKAGE, EXFILTRATION, OR INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
3. THE SANITARY SEWER MAIN AND ITS LATERALS SHALL BE PVC ASTM D3034, WITH GASKETED JOINTS MEETING ASTM D3212 SDR-35, UNLESS DEPTH OF COVER IS 15 FEET OR GREATER THEN USE ASTM D3034 SDR-28.
4. SANITARY MANHOLES SHALL BE PRECAST CONCRETE MEETING THE STANDARDS OF THE CITY OF NORTH RIDGEVILLE. THE MANHOLE SHALL BE FULLY INSPECTED AROUND ITS EXTERIOR BEFORE BACKFILLING. ANY SUSPECTED WEAK SPOTS, CRACKS, ETC. THAT MAY CAUSE A LEAK IN THE FUTURE SHALL BE PATCHED, SEALED, ETC. WITH WATERPROOFING MATERIALS. PARTICULAR ATTENTION SHALL BE PAID TO THE BARREL JOINTS, STEP LOCATIONS, LIFTING HOLES, AND THE JOINT BETWEEN THE GRADE RINGS AND THE CASTING. ALL MANHOLES SHALL BE VACUUM TESTED PER ASTM-C1244.
5. GRADE RINGS SHALL BE USED TO BRING ALL CASTING TO GRADE, MAXIMUM 11 INCHES.
6. IF THE CASTING IS DISTURBED AFTER IT IS INSTALLED IT SHALL BE COMPLETELY REMOVED, CLEANED, AND THEN REINSTALLED.
7. THE CONTRACTOR SHALL MARK ALL LATERAL LOCATIONS IN THE FIELD WITH A CONTINUOUS 4" X 4" WOODEN STAKE FROM INVERT TO 2'-6" ABOVE GRADE, PAINTED ORANGE OR RED.
8. "LOW-PRESSURE" AIR TESTING FOR PLASTIC PIPE SHALL BE PER ASTM-F1417.
9. ALL MAINLINE SANITARY SEWER SHALL BE VIDEO TAPED PER CITY ORDINANCE.
10. HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERLINE, STORM SEWERS, AND SANITARY SEWERS SHALL BE MAINTAINED AS FOLLOWS:
 - A. A MINIMUM 10-FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE STORM SEWER WILL BE MAINTAINED.
 - B. A MINIMUM 10-FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE SANITARY SEWER WILL BE MAINTAINED.
 - C. A MINIMUM 18-INCH VERTICAL CLEARANCE (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE SANITARY SEWER WILL BE MAINTAINED.
 - D. A MINIMUM 18-INCH VERTICAL CLEARANCE (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATERLINE AND THE STORM SEWER WILL BE MAINTAINED.

11. THE CONTRACTOR WILL COLOR FIRM BOTH SANITARY AND STORM SEWERS TO VERIFY THAT THEY ARE FREE OF DEFECTS AND FOREIGN MATTER AND THAT THEY ARE TO THE PROPER ALIGNMENT PRIOR TO FORMAL ACCEPTANCE BY THE CITY OF NORTH RIDGEVILLE. THE INSPECTION AND TESTING SHALL BE DONE BY AN EXPERIENCED AND CERTIFIED FIRM ENGAGED IN THIS TYPE OF WORK, AS APPROVED BY THE CITY. WRITTEN REPORTS FOR ALL INSPECTION AND TESTING SHALL BE SUBMITTED TO THE OWNER AND THE CITY FOR APPROVAL. ALL SEWERS WILL BE FLUSHED AND HAVE A VCR TELEVIEWED INSPECTION IN ACCORDANCE WITH THE CITY OF NORTH RIDGEVILLE SPECIFICATIONS AFTER THE COMPLETION OF THE PAVEMENT CONSTRUCTION AND SEEDING OF THE DISTURBED AREAS, BUT PRIOR TO THE ISSUANCE OF BUILDING PERMITS. IF THE INSTALLATION FAILS TO MEET THE REQUIREMENTS OF THE TESTS AND INSPECTION, THE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEFECTS AND RETEST AND RE-FIRM THE INSTALLATION. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS BEFORE THE STORM AND SANITARY SEWERS ARE TELEVIEWED.

WATER SYSTEM

1. THE WATER SYSTEM SHALL BE CONSTRUCTED PER THE CITY OF NORTH RIDGEVILLE STANDARDS & REGULATIONS.
2. THE WATERLINE SHALL BE PVC MEETING THE REQUIREMENTS OF AWWA C900, OR C909, CLASS 150 PIPE CONFORMING TO DR18 OR DUCTILE IRON PIPE, CLASS 52, CEMENT LINED MEETING THE REQUIREMENTS OF ANSI A21.51 AND AWWA C-151.
3. A MINIMUM OF 35 PSI SHALL BE MAINTAINED TO THE CURB STOP DURING NORMAL OPERATING CONDITIONS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.
4. ALL FITTINGS FOR THE WATER MAIN SHALL BE RESTRAINED JOINT TYPE (MEGA-LUG) AND SHALL BE DUCTILE IRON MEETING AWWA C-153.
5. ALL BENDS OR TEES ON THE MAIN SHALL BE RESTRAINED JOINT TYPE (MEGA-LUG) AND BLOCKED WITH WOOD.
6. ALL DUCTILE IRON PIPE, CAST IRON FITTINGS AND HYDRANTS SHALL BE POLYWRAPPED ACCORDING TO AWWA C-105. RESTRAIN TWO PIPE JOINTS EITHER SIDE OF TEE OR ELBOW IN ADDITION TO THRUST RESTRAINT.
7. ALL FITTINGS SHALL BE GIVEN A CEMENT MORTAR LINING AT THE POINT OF MANUFACTURE. THE LINING SHALL CONFORM TO ANSI A21.4, AWWA C-104 AND ALL SUBSEQUENT AMENDMENTS.
8. ALL FITTINGS SHALL BE DESIGNED FOR A WORKING PRESSURE OF NOT LESS THAN 150 PSI.
9. ALL VALVES AND HYDRANT FITTINGS MUST HAVE STAINLESS STEEL NUTS AND BOLTS. T-BOLTS AND NUTS FOR ALL MECHANICAL JOINTS MUST HAVE A BITUMASTIC COATING.
10. ALL PIPE SHALL BE GIVEN A CEMENT MORTAR LINING AT THE POINT OF MANUFACTURE. THE MORTAR LINING SHALL NOT BE LESS THAN 1/16 INCH IN THICKNESS AND CONFORM TO ANSI A21.4, AWWA C-104 AND ALL SUBSEQUENT AMENDMENTS.
11. ALL JOINTS SHALL BE MECHANICAL OR PUSH-ON TYPE. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI A21.11, AWWA C-111 AND ALL SUBSEQUENT AMENDMENTS. PUSH-ON JOINTS SHALL BE MADE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PIPE MANUFACTURER.
12. ALL HYDRANTS SHALL HAVE MECHANICAL TYPE JOINTS.
13. WHENEVER CHANGES IN LINE AND GRADE OF THE MAIN AS SHOWN ON THE DRAWINGS ARE NOT STANDARD FITTING DEFLECTIONS, THE CONTRACTOR WILL BE PERMITTED TO USE AN APPROVED COMBINATION OF STANDARD FITTINGS AND SMALL DEFLECTION OF THREE DEGREES PER JOINT IN THE ADJOINING LENGTHS OF PIPE (NOT TO EXCEED THE MANUFACTURER'S SPECIFICATIONS).
14. CLOSURE PIECES SHALL BE ACCURATELY MEASURED AND CUT, IN THE FIELD, AND INSTALLED USING SOLID TYPE LONG PATTERN SLEEVES AS SHOWN OR AS REQUIRED.
15. A MINIMUM PRESSURE OF 20 PSI WILL BE MAINTAINED AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL CONDITIONS OF FLOW IS REQUIRED ACCORDING TO TSS 8.2.1.

GATE VALVES

1. VALVES SHALL CONFORM IN ALL RESPECTS WITH AWWA C-500 OR C-509 AND WITH THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT SPECIFICATIONS.
2. ALL GATE VALVES THREE INCH AND LARGER SHALL HAVE A NON-RISING STEM, SHALL OPEN BY TURNING TO THE RIGHT, AND SHALL BE OPERATED BY A TWO-INCH SQUARE OPERATING NUT. NUTS SHALL HAVE AN ARROW AND THE WORD "OPEN" CAST THEREON TO INDICATE THE DIRECTION OF TURNING TO OPEN THE VALVE.
3. ALL GATE VALVES THREE-INCH TO 18 INCH IN SIZE SHALL BE OF RESILIENT WEDGE SEATED TYPE. THE VALVES SHALL HAVE RUBBER "O" RING PACKING SEALS AND MECHANICAL JOINT ENDS UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE CITY ENGINEER. IF THE TOP OF THE OPERATING NUT IS MORE THAN 36 INCHES BELOW FINISHED GRADE, AN EXTENSION STEM SHALL BE PROVIDED TO PLACE THE OPERATING WRENCH NUT BETWEEN 24 AND 36 INCHES BELOW THE SURFACE.
4. ALL 20 AND 24 INCH GATE VALVES SHALL BE PROVIDED WITH A FOUR INCH BYPASS VALVE AND ALL 30 INCH TO 48 INCH VALVES INCLUSIVE SHALL BE PROVIDED WITH A SIX INCH BYPASS VALVE LOCATED BELOW THE CENTER OF THE VALVES.
5. ALL GATE VALVES 18 INCH AND UNDER SHALL BE CONSTRUCTED TO WORK VERTICALLY. GATE VALVES 20 INCH AND LARGER IN SIZE SHALL BE CONSTRUCTED TO WORK HORIZONTALLY.
6. ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.

BUTTERFLY VALVES

1. IN LIEU OF GATE VALVES, BUTTERFLY VALVES MAY BE USED ON 12 INCH AND LARGER MAINS.
2. ALL BUTTERFLY VALVES SHALL BE OF RUBBER-SEALED TIGHT-CLOSING TYPE. THEY SHALL MEET OR EXCEED PERFORMANCE REQUIREMENTS FOR WATER APPLICATIONS OF APPLICABLE RECOGNIZED STANDARDS SUCH AS AWWA C-504. ALL VALVES SHALL BE Mueller BUTTERFLY VALVES OR AN APPROVED EQUAL.
3. BOTH VALVE ENDS SHALL BE MECHANICAL JOINT PER AWWA C-111. ACCESSORIES (BOLTS, GLANDS AND BASKETS) SHALL BE SUPPLIED BY THE VALVE MANUFACTURER.
4. ALL VALVES MUST USE FULL AWWA C-504, CLASS 150B VALVE SHAFT DIAMETER AND FULL CLASS 150B UNDERGROUND-SERVICE-OPERATOR TORQUE RATING THROUGHOUT ENTIRE TRAVEL, TO PROVIDE CAPABILITY FOR OPERATION IN EMERGENCY SERVICE.
5. VALVE BODY SHALL BE HIGH-STRENGTH CAST IRON ASTM A126, CLASS B WITH 18-8 TYPE 304 STAINLESS STEEL BODY SEAT. VALVE VANE SHALL BE HIGH STRENGTH CAST IRON ASTM A48 CLASS 40, HAVING RUBBER SEAT MECHANICALLY SECURED WITH AN INTEGRAL 18-8 STAINLESS STEEL CLAMP RING AND 18-8 STAINLESS STEEL SELF-LOCKING SCREWS.
6. RUBBER SEAT SHALL BE A FULL-CIRCLE 360 DEGREE SEAT NOT PENETRATED BY THE VALVE SHAFT. VALVE SHAFT SHALL BE ONE PIECE, EXTENDING FULL SIZE THROUGH THE ENTIRE SHAFT AND OPERATOR WITH NO NECK-DOWN, KEYWAYS OR HOLES TO WEAKEN IT. FOR 14 INCH AND LARGER, VALVE SHAFTS SHALL BE 18-8 STAINLESS STEEL STUB SHAFT DESIGN KEVED TO THE VANE WITH STAINLESS STEEL TAPER PINS.
7. VALVE OPERATOR SHALL BE OF THE TRAVELING-NUT TYPE, SEALED, GASKETED, AND LUBRICATED FOR UNDERGROUND SERVICE. IT SHALL BE CAPABLE OF WITHSTANDING AN OVERLOAD INPUT TORQUE OF 450 FT-LBS AT FULL-OPEN OR CLOSED POSITION WITHOUT DAMAGE TO THE VALVE OR VALVE OPERATOR. IT SHALL BE DESIGNED TO RESIST SUBMERGENCE IN WATER TO 25 FEET HEAD PRESSURE FOR UP TO 72 HOURS.
8. THE VALVE SHALL BE CAPABLE OF EASY CLOSURE BY ONE MAN USING A STANDARD VALVE KEY, EVEN UNDER EMERGENCY LINE-BREAK CONDITIONS AS SEVERE AS THOSE THAT WOULD CAUSE A VALVE MAXIMUM OPERATING TORQUE REQUIREMENT OF AS MUCH AS TWO TIMES AWWA CLASS 150B.
9. ALL VALVES SHALL BE TESTED, BUBBLE-TIGHT AIR-UNDER-WATER, BY THE MANUFACTURER AS FOLLOWS:

4" THROUGH 12"	175 PSI
14" AND UP	150 PSI

IN ADDITION A 300 PSI HYDROSTATIC TEST SHALL BE GIVEN TO THE ASSEMBLED VALVE. THIS 300 PSI PRESSURE SHALL ALSO BE APPLIED AGAINST THE FULLY CLOSED VANE OF EACH VALVE TO PROVE STRUCTURAL SOUNDNESS AND ASSURE COMPATIBILITY WITH FIELD LINE TEST PROCEDURES.

HYDROSTATIC TESTING

1. ALL WATER MAINS SHALL BE INSTALLED AND PRESSURE TESTED ACCORDING TO AWWA C-605, LATEST EDITION.
2. TESTING PLUGS OR CAPS SHALL BE FURNISHED AND INSTALLED FOR TESTING COMPLETED SECTIONS OF PIPE AND FITTINGS.
3. BEFORE THE TEST PRESSURE IS APPLIED, CARE SHALL BE TAKEN TO INSURE THE REMOVAL OF AIR IN THE LINE AT THE HIGH POINTS AND TO SEE THAT ALL CAPS, PLUGS AND EXPOSED PORTIONS OF THE LINE ARE SECURELY BRACED.
4. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY EQUIPMENT, GAUGES, TOOLS, AND LABOR TO PROPERLY CONDUCT THE TEST. ALL TESTING SHALL BE DONE UNDER THE DIRECTION OF THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT.
5. WATER FOR FILLING THE TEST SECTIONS WILL BE PROVIDED BY THE CITY OF NORTH RIDGEVILLE.
6. IF THE LEAKAGE TEST EXCEEDS THE MAXIMUM ALLOWED, THE CONTRACTOR SHALL LOCATE AND REPAIR THE LEAKS AND AGAIN TEST THE PIPE. THIS PROCESS SHALL BE CONTINUED UNTIL THE LEAKAGE IS WITHIN THE ACCEPTABLE LIMITS.

DISINFECTING MAINS

1. AFTER HYDROSTATIC TESTING, THE NEW LINE SHALL BE THOROUGHLY FLUSHED IN ACCORDANCE WITH AWWA C-651. THE MAIN SHALL BE FLUSHED THROUGH THE HYDRANTS, BLOWOFFS OR BY SOME OTHER APPROVED MEANS.
2. CHLORINE SHALL BE ADDED AT SUCH RATES AS TO GIVE A MINIMUM CHLORINE DOSAGE OF 50 PARTS PER MILLION AVAILABLE CHLORINE.
3. CHLORINE USED AS A DISINFECTING AGENT MAY BE EITHER LIQUID CHLORINE OR AN ANHYDROUS CALCIUM HYPOCHLORITE COMPOUND SUCH AS "HTH" OR AN APPROVED EQUAL. LIQUID CHLORINE SHALL BE APPLIED THROUGH A SUITABLE CHLORINE FEEDING MACHINE AND INJECTION NOZZLE. ANHYDROUS CALCIUM HYPOCHLORITE SHALL BE FED AS A SOLUTION USING A SUITABLE INJECTION PUMP.
4. FOLLOWING THE DISINFECTING PERIOD, THE LINE SHALL BE THOROUGHLY FLUSHED UNTIL THE REPLACEMENT WATER THROUGHOUT THE ENTIRE LENGTH OF THE LINE SHALL UPON TEST, BOTH CHEMICALLY AND BACTERIOLOGICALLY, BE PROVEN EQUAL TO THE QUALITY OF THE WATER IN THE EXISTING SYSTEM.
5. THE CITY OF NORTH RIDGEVILLE SERVICE DEPARTMENT WILL TEST THE WATER. THE CONTRACTOR IS RESPONSIBLE FOR THE TEST ARRANGEMENTS.

CURB CONNECTIONS

1. THE SIZE OF SERVICE CONNECTIONS SHALL BE THREE-QUARTER INCH (3/4") DIAMETER MINIMUM.
2. SERVICE CONNECTIONS SHALL BE K COPPER. ALTERNATIVELY, 200 PSI PLASTIC PIPE APPROVED FOR POTABLE WATER, WITH TRACER WIRE, MAY BE USED PROVIDED THE 50 FEET OF CONNECTION ADJACENT TO THE SERVED STRUCTURE IS K COPPER AND THE STRUCTURE SERVED IS MORE THAN 200 FEET FROM THE ROADWAY RIGHT OF WAY LINE.
3. FOR STRUCTURES GREATER THAN 200 FEET FROM THE CENTERLINE OF THE ROADWAY, A METER VAULT MUST BE PROVIDED NEAR THE RIGHT OF WAY LINE OF THE ROADWAY.

OCTOBER 1, 2008 REVISED 9/29/09, 2/19/10

7/22/14

REV. No.	DATE	BY



DATE: 12/1/18
 SCALE: HOR. NA
 VERT. NA
 FOLDER: 0201/Improvement
 FILENAME: Title Notes Details
 TAB: 2-General Notes
 DRAWN: sry

**HARVEST POINTE
SUBDIVISION No1**
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3480 CHARBON ROAD - SUITE D
NORTH RIDGEVILLE, OHIO 44039
(440) 944-4433 (440) 944-3722 (fax)
www.polaris-es.com



GENERAL NOTES

CONTRACT No.	
18175	
SHEET	OF
3	20

TOPOGRAPHIC CERTIFICATION:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 21ST DAY OF NOVEMBER, 2018, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson Jr.
 RICHARD A. THOMPSON, JR., P.S. #7388

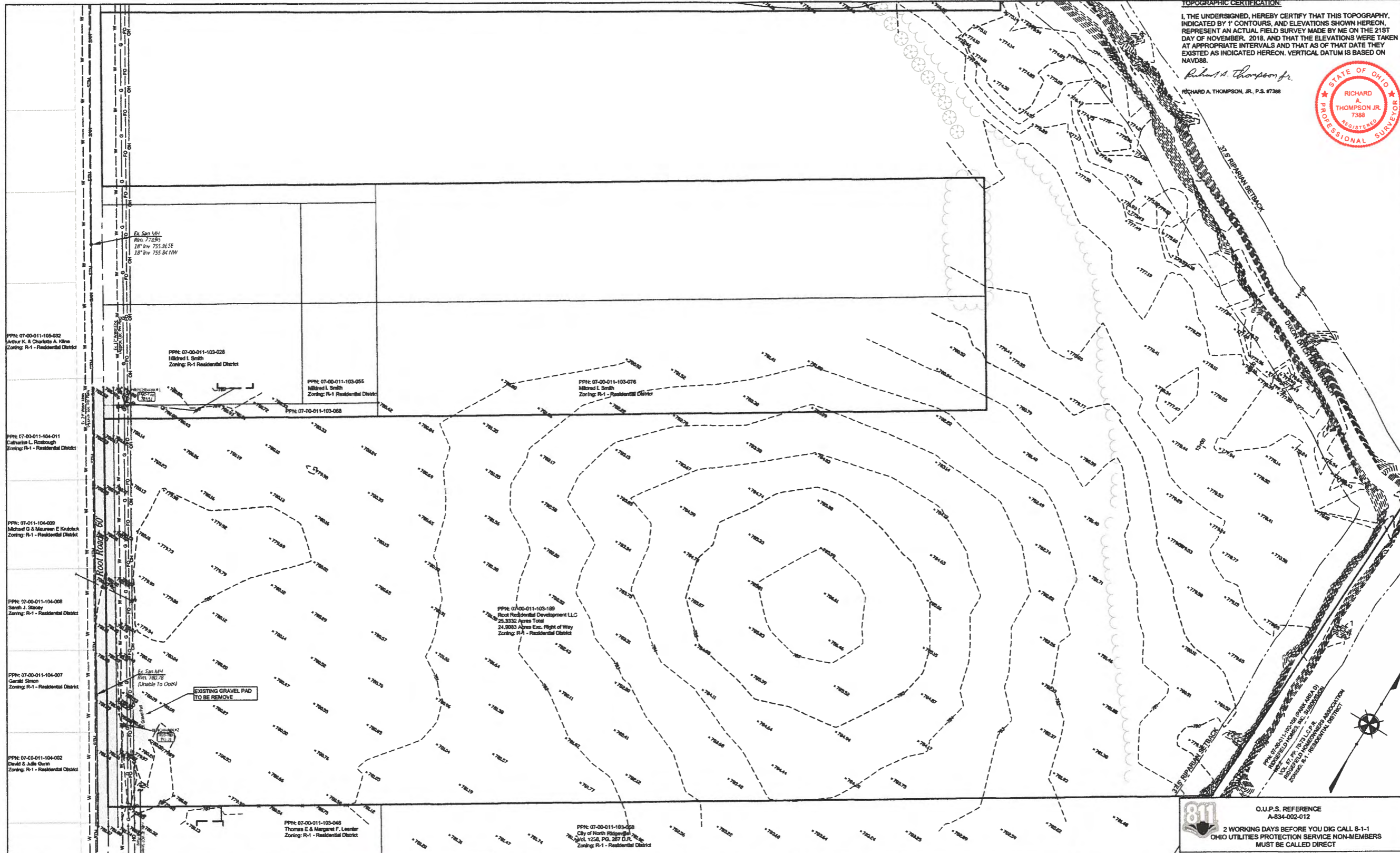


**HARVEST POINTE
 SUBDIVISION No1**
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POLARIS ENGINEERING & SURVEYING, INC.
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 WILLOUGHBY HILLS, OHIO 44094
 (440) 944-4433 (440) 944-3722 (Fax)
 www.polaris-es.com



**EXISTING CONDITIONS
 PLAN**

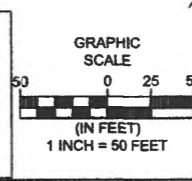


REV. No.	DATE	BY



DATE: 12/11/20
 SCALE: HOR. 1"=50'
 VERT. NA
 FOLDER: DWG Improvement
 FILENAME: Existing Conditions
 TAB: 4-Existing Conditions
 DRAWN: SRV

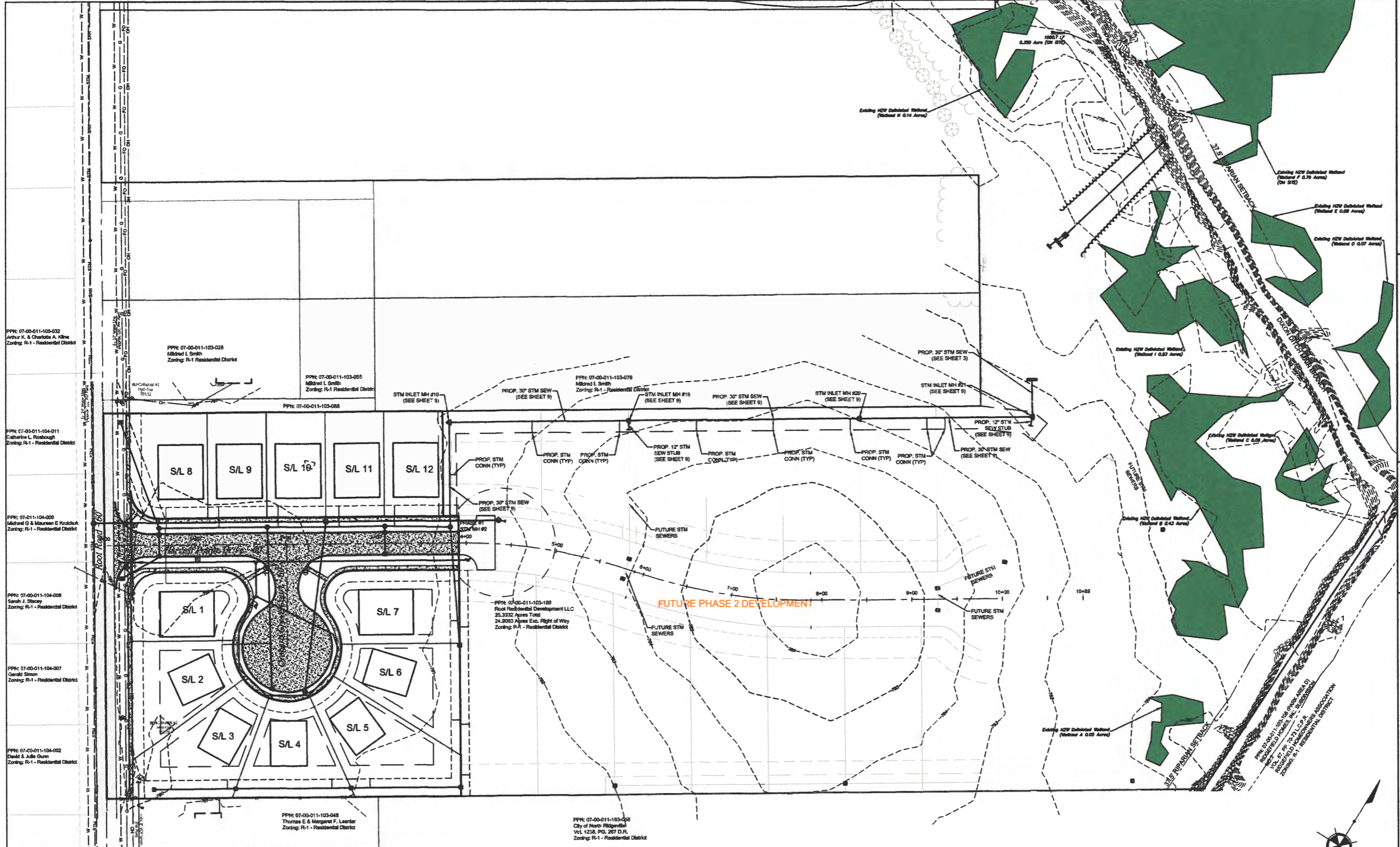
SYMBOL LEGEND	
⊙	Ex. Clean Out
⊠	Ex. Catch Basin
⊡	Prop. Catch Basin
⊙	Ex. Yard Drain
⊙	Ex. Manhole
⊙	Ex. Storm Manhole
⊙	Prop. Storm Manhole
⊙	Ex. Sanitary Manhole
⊙	Prop. Sanitary Manhole
⊡	Prop. Curb Inlet
⊡	Ex. Curb Inlet
⊙	Ex. Gas Marker
⊙	Ex. Gas Meter
⊙	Ex. Gas Valve
⊙	Ex. Water Valve
⊙	Ex. Water Meter
⊙	Ex. Fire Hydrant
⊙	Prop. Hydrant
⊙	Prop. Wt. Valve
⊙	Well
⊙	Test Bore
⊙	Ex. Electrical Box
⊙	Ex. Guy Wire
⊙	Ex. Power Pole
⊙	Ex. Light Power Pole
⊙	Ex. Light Pole
⊙	Prop. Light Pole
⊙	Ex. Tree
⊙	Ex. Pine Tree
⊙	Ex. Bush
⊙	Ex. Mailbox
⊙	Ex. Sign
⊙	Ex. Telephone Box
⊙	Guard Post
⊙	Ex. Monument Box
⊙	Power Transformer
⊙	Sprinkler Control Box
⊙	Sprinkler Head
⊙	Traffic Signal Pole
⊙	Traffic Signal Box



811 O.U.P.S. REFERENCE A-834-002-012
 2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.
 NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

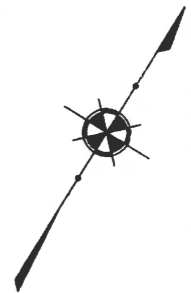
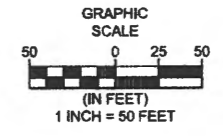
CONTRACT No.	
18175	
SHEET	OF
4	20



REV. No.	DATE	BY



DATE: 12/1/23
 SCALE: HOR. 1"=50'
 VERT. NA
 FOLDER: 0996 - Improvement
 FILENAME: Existing Conditions
 TAB: 5-Overall Plan
 DRAWN: BRV



**HARVEST POINTE
 SUBDIVISION No 1**
 CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
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 www.polaris-e-s.com



OVERALL PLAN

CONTRACT No.	
18175	
SHEET	OF
5	20

**HARVEST POINTE
SUBDIVISION No 1**

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

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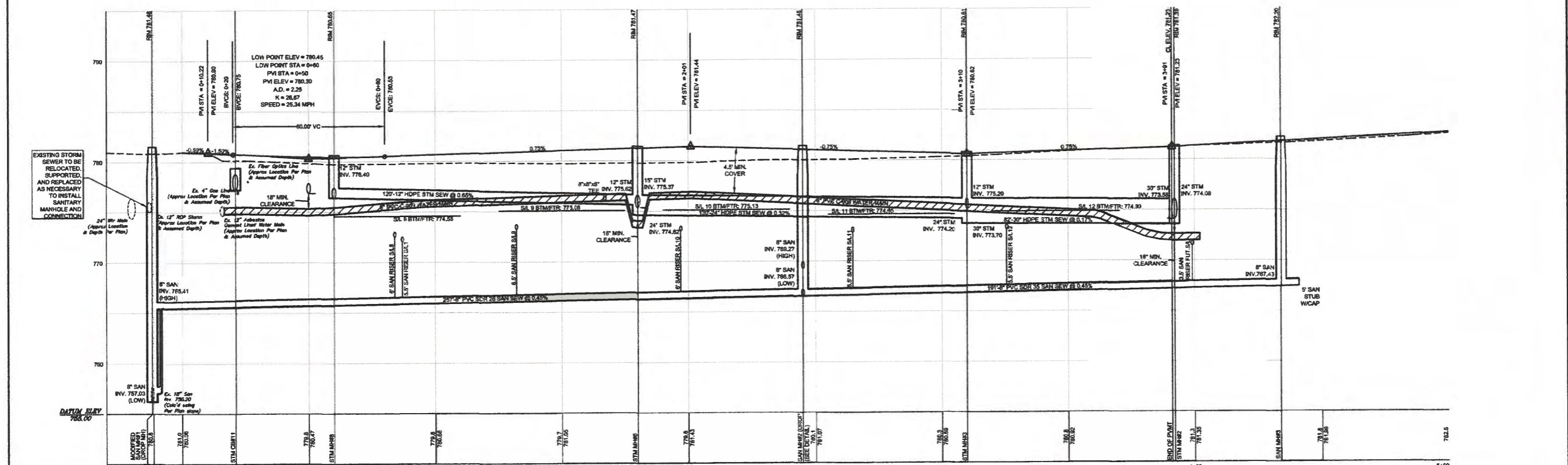
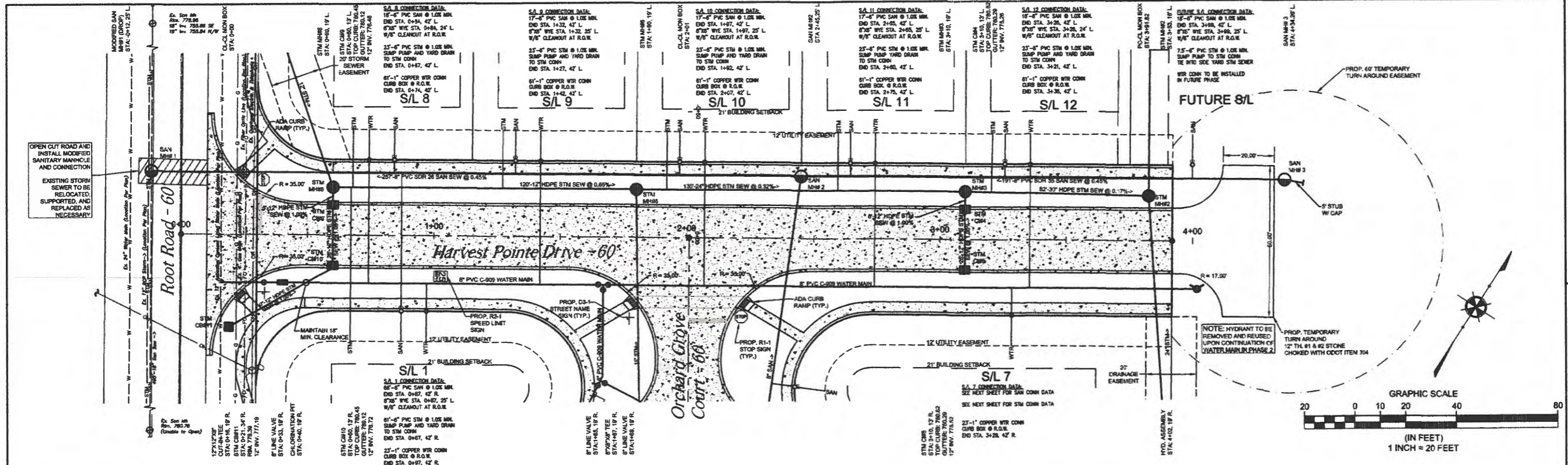
PLAN & PROFILE

CONTRACT No.

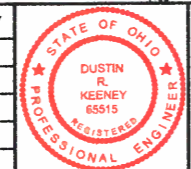
18175

SHEET OF

7 20



REV. No.	DATE	BY



DATE: 12/11/18
SCALE: HOR. 1"=20'
VERT. 1"=4'
FOLDER: 0218/Improvement
FILENAME: 0218 & Profile
TAB: 7-SEP
DRAWN: BRV

WTR SERVICE NOTE:
WATER SERVICE BOXES ARE TO BE PROVIDED PER CITY OF NORTH RIDGEVILLE STANDARD CONSTRUCTION DRAWINGS WAT-13, SEE SHEET 20

SAN SERVICE NOTE:
SANITARY SEWER CLEANOUTS ARE TO BE PROVIDED PER CITY OF NORTH RIDGEVILLE STANDARD CONSTRUCTION DRAWING SAN-8 SEE SHEET 18

STM CONNECTION NOTE:
SUMP PUMPS AND YARD DRAINS SHALL BE CONNECTED TO THE STORM SEWER LATERAL PROVIDED FOR EACH INDIVIDUAL LOT.

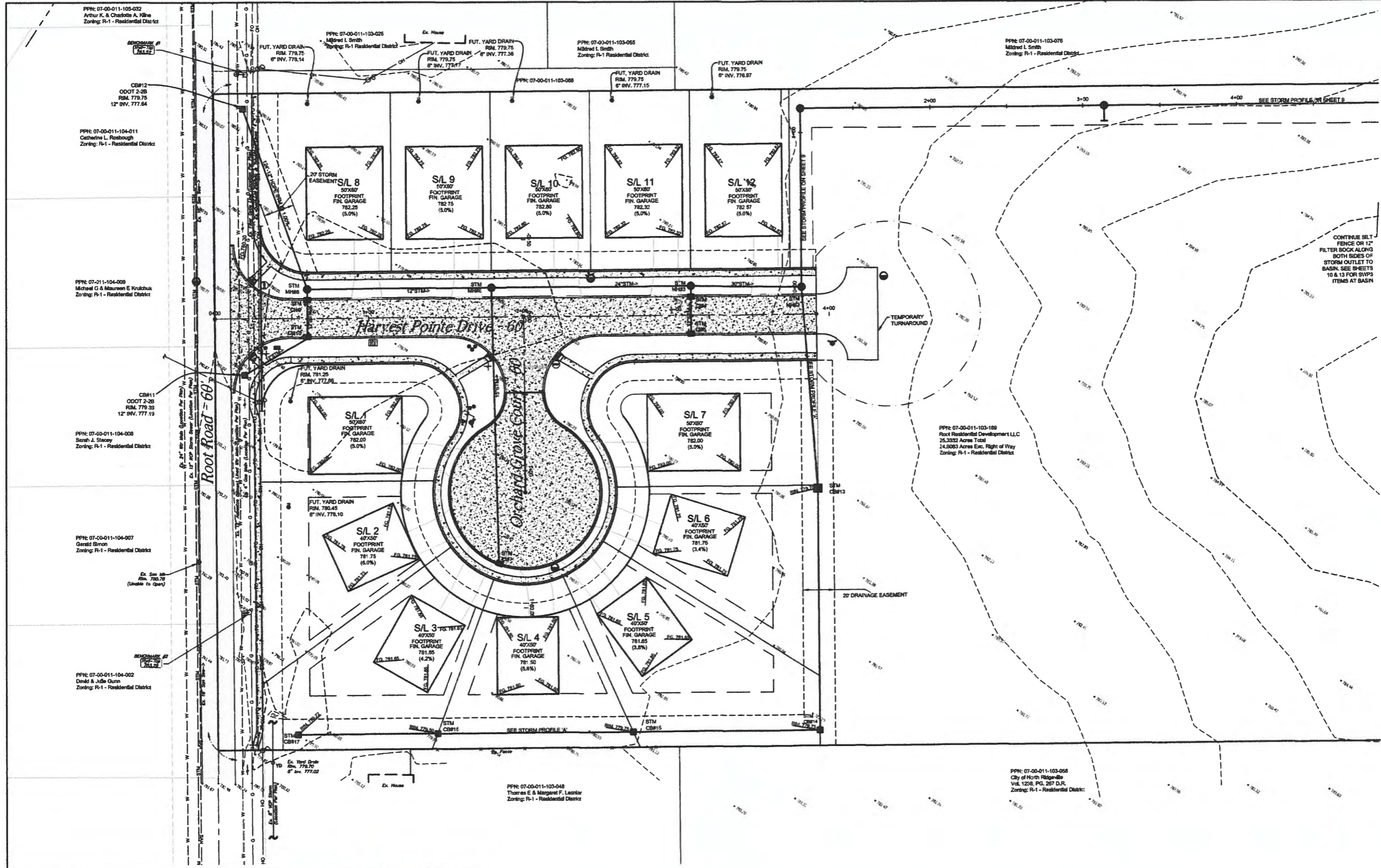
DOWNSPOUT NOTE:
ALL DOWNSPOUTS TO BE SPLASH BLOCKED PER NORTH RIDGEVILLE CODIFIED ORDINANCE

NOTE: A CLAY DAM IS TO BE PROVIDED IN THE STORM SEWER TRENCHES WHERE THEY OUTFALL INTO BASINS TO PREVENT STORM WATER FROM MIGRATING THROUGH THE STORM SEWER TRENCHES AND BACK TO THE HOMES.

SIDEWALK NOTE:
DEVELOPER REQUIRED TO INSTALL PUBLIC SIDEWALKS ALONG ROOT ROAD FRONTAGE, ALL COMMON AREAS, AND BLOCKS WITHIN THE RIGHT OF WAY.

BACKFILL NOTE:
PREMIUM BACKFILL SHALL BE USED WITHIN THE ZONE OF INFLUENCE FOR ALL PIPING WITHIN THE RIGHT OF WAY

STREET SIGN NOTE:
SIGN SHEETING TO BE ODOT TYPE 'H' HIGH INTENSITY PER ODOT/CD REQUIREMENTS. STREET NAME SIGN LETTERS TO BE UPPERCASE & LOWERCASE



REV. No.	DATE	BY

STATE OF OHIO
 DUSTIN R. KEENEY
 85515
 REGISTERED PROFESSIONAL ENGINEER

DATE: 12/1/18
 SCALE: HOR. 1"=30'
 VERT. 1"=4'
 FOLDER: DWS/Improvement
 FILENAME: Grades & Utility
 TAB: 11-Final Grading Plan
 DRAWN: BRV

STOCKPILE NOTE:
 EXCESS SOILS FROM HOUSE
 EXCAVATIONS TO BE STOCKPILED
 AND USED FOR FUTURE PHASE
 CONSTRUCTION

**HARVEST POINTE
 SUBDIVISION No 1**
 CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

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FINAL GRADING PLAN

CONTRACT No.	
18175	
SHEET	OF
11	20

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SUBDIVISION No1**

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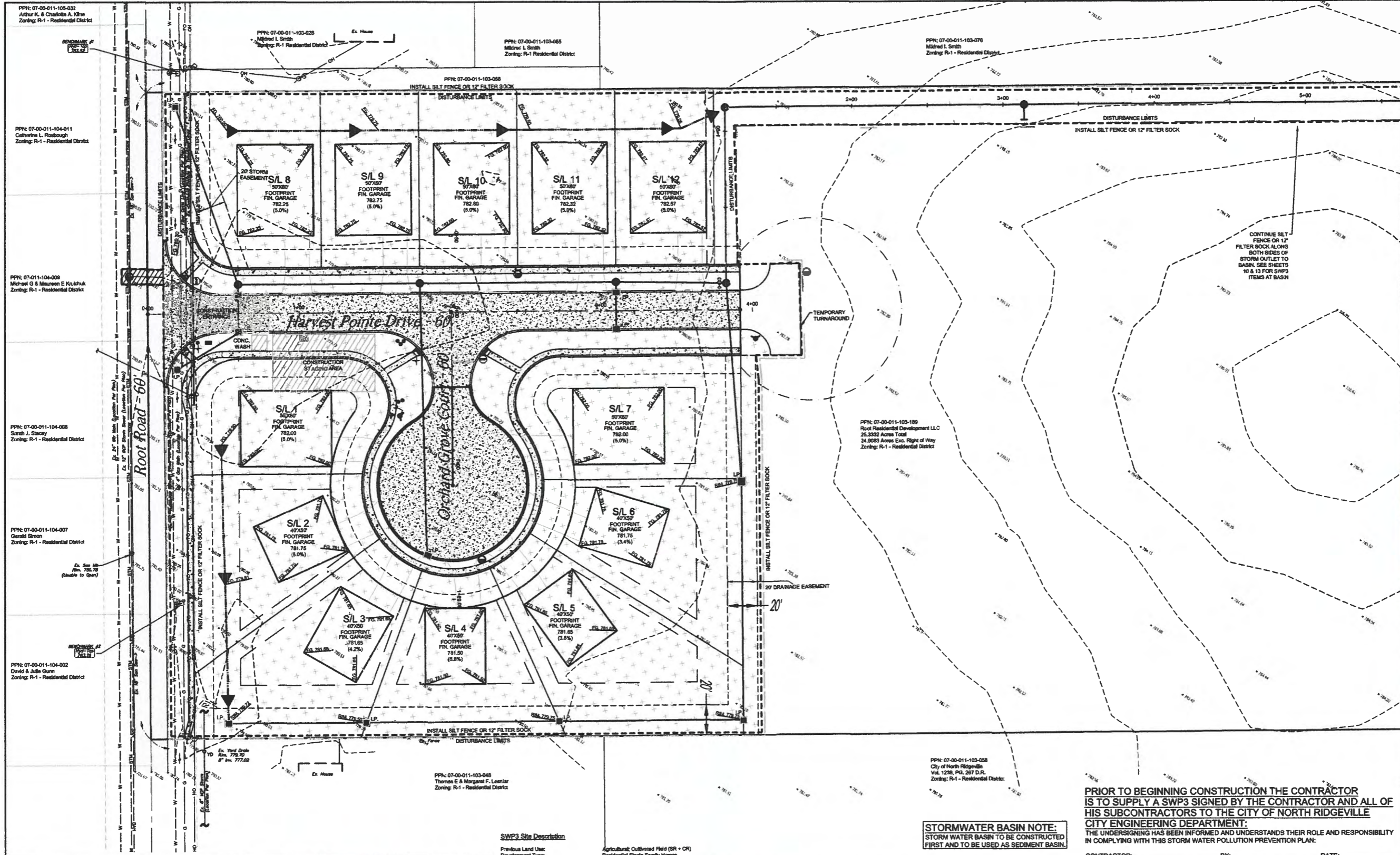
**MASS GRADING &
SWP3 PLAN**

CONTRACT No.

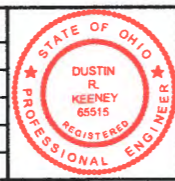
18175

SHEET OF

12 20



REV. No.	DATE	BY



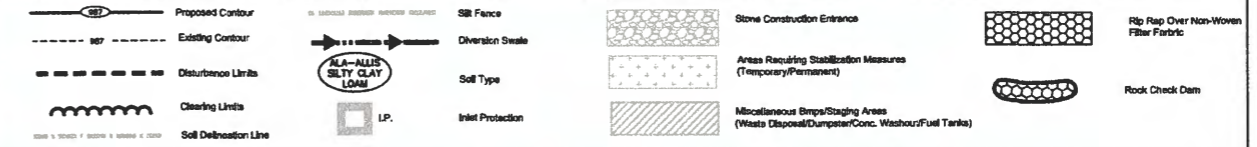
DATE: 12/15/18
SCALE: HOR. 1"=30'
VERT. 1"=5'
FOLDER: SWP3 Improvements
FILENAME: Grading & Utility
TAB: 12-Mass Grading & SWP3
DRAWN: gsv

SWP3 Site Description
Previous Land Use:
Development Type:
Total Site Acreage
Phase 1 Site Acreage
Total Phase 1 Site Disturbance:
Pre-Developed Impervious Area:
Pre-Developed Pervious Area:
Pre-Developed Curve Number
Post-Developed Impervious Area:
Post-Developed Pervious Area:
Post-Developed Curve Number:
Predominant Soil(s) & Hydraulic Group(s)
First Receiving Water Body:
Subsequent Receiving Water Body:
Water Resources within 200' of Site:
Offsite Borrow Areas:

Agricultural Cultivated Field (SR + CR)
Residential Single Family Homes
25.33 Ac.
3.78 Ac.
5.02 Ac.
0 Ac. (0%)
3.78 Ac. (100%)
85
1.87 Ac. (49%)
1.91 Ac. (51%)
60.8
MGA-Mahoning Silty Loam; Group D
Unimproved Tributary
French Creek
Yes
N/A

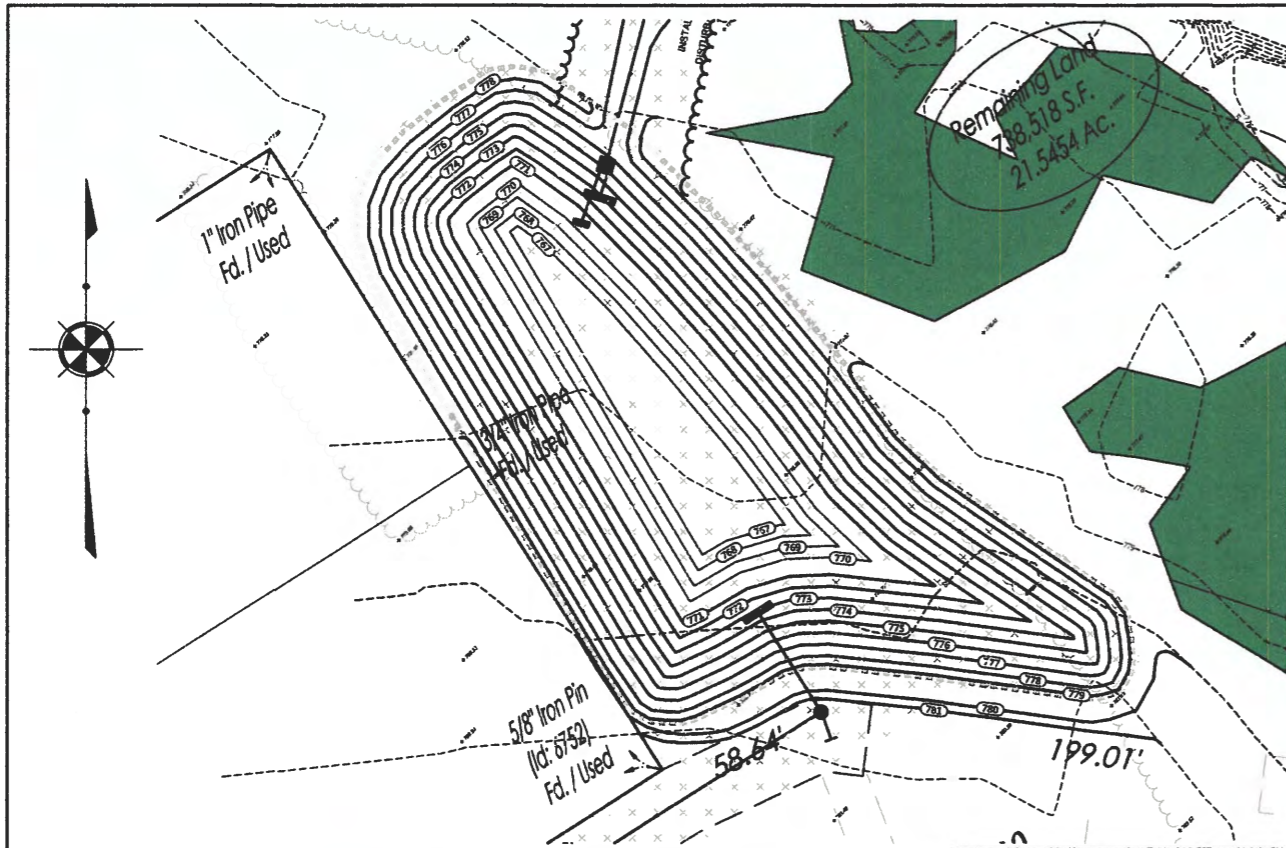
STORMWATER BASIN NOTE:
STORM WATER BASIN TO BE CONSTRUCTED FIRST AND TO BE USED AS SEDIMENT BASIN.

SWP3 LEGEND



PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR IS TO SUPPLY A SWP3 SIGNED BY THE CONTRACTOR AND ALL OF HIS SUBCONTRACTORS TO THE CITY OF NORTH RIDGEVILLE CITY ENGINEERING DEPARTMENT.
THE UNDERSIGNING HAS BEEN INFORMED AND UNDERSTANDS THEIR ROLE AND RESPONSIBILITY IN COMPLYING WITH THIS STORM WATER POLLUTION PREVENTION PLAN.

CONTRACTOR: _____ BY: _____ DATE: _____



polaris Engineering & Surveying

DATE: _____

Phase I SWM Basin Water Quality Calculation

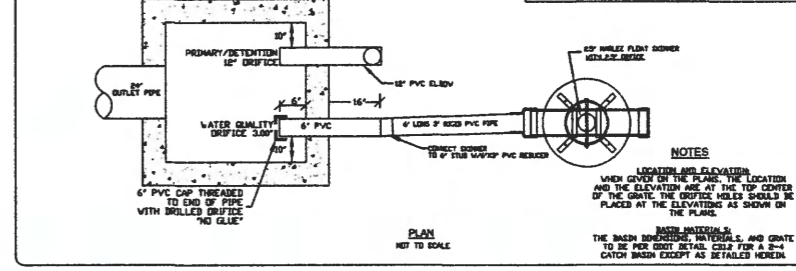
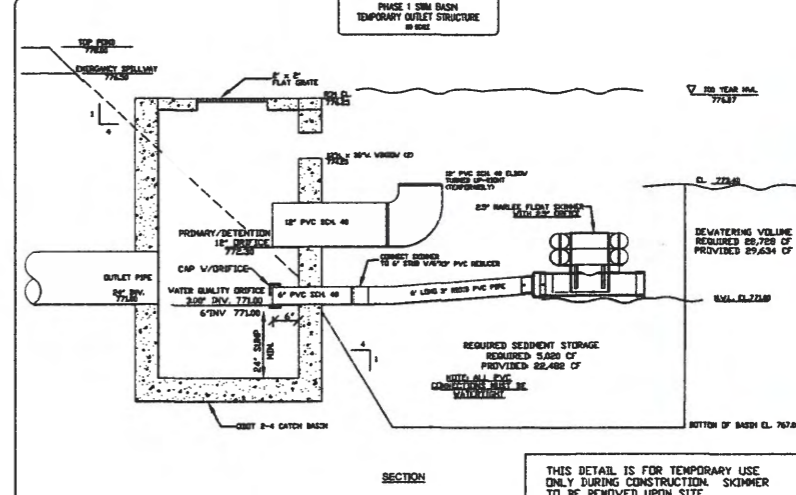
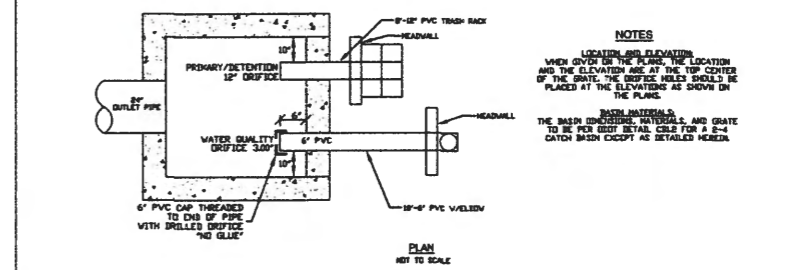
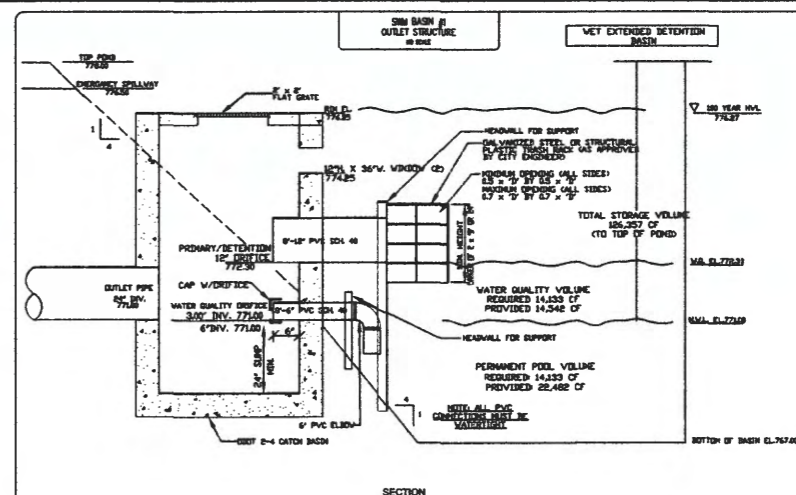
WET EXTENDED DETENTION		
Water Quality Volume Calculations		
WQV ₁	0.342	13.38
WQV ₂	0.271	10.44
WQV ₃	0.087	3.36
WQV_{TOTAL}	0.699	27.18
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	

polaris Engineering & Surveying

DATE: _____

Phase I SWM Basin Water Quality Calculation

WET EXTENDED DETENTION		
Water Quality Volume Calculations		
WQV ₁	0.342	13.38
WQV ₂	0.271	10.44
WQV ₃	0.087	3.36
WQV_{TOTAL}	0.699	27.18
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	
WQV ₁	0.342	
WQV ₂	0.271	
WQV ₃	0.087	
WQV_{TOTAL}	0.699	
Area Pool	WQV _{TOTAL} = 14133 SF	



STANDARD NOTES:

- Rigid outlet pipe should be 1.5 times the depth of water (min. 6"). If over 12' long weight may need to be added.
- Inlet Orifice size can be reduced with conversion kits.
- Minimal assembly required. User provides rigid outlet pipe. All other materials and parts included.

Water Depth	2.5" with 2" Orifice		2.5" with 1.5" Orifice		2.5" with 1" Orifice	
	ft	cfs	cfs	cfs	cfs	cfs
0.1	0.0486	4.197	0.0212	1.829	0.0158	1.348
0.5	0.0568	4.909	0.0281	2.426	0.0192	1.626
1.0	0.0644	5.787	0.0370	3.196	0.0262	2.202
1.5	0.0778	6.719	0.0460	4.236	0.0343	2.845
2.0	0.0911	7.824	0.0558	5.023	0.0436	3.623
2.5	0.0980	8.298	0.0571	5.142	0.0453	3.733
3.0	0.1001	8.445	0.0587	5.203	0.0465	3.829
3.5	0.1036	8.853	0.0616	5.447	0.0486	4.024
4.0	0.1067	9.222	0.0640	5.623	0.0503	4.193
Avg (0.5'-4')	0.0909	7.853	0.0585	5.058	0.0436	3.624

FLOW RATES BASED ON THIRD PARTY TESTING. FOR DESIGN PURPOSES ASSUME FLOW RATES REMAIN CONSTANT FOR DEPTHS GREATER THAN 4".

NOTE: THE HOME OWNERS ASSOCIATION IS RESPONSIBLE FOR PROVIDING AN ANNUAL INSPECTION REPORT OF THE STORMWATER MANAGEMENT FACILITIES BY A REGISTERED ENGINEER TO THE CITY OF NORTH RIDGEVILLE ENGINEERING DEPARTMENT.

NOTE: THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORM WATER QUALITY STRUCTURES.

STORMWATER BASIN NOTE:
STORM WATER BASIN TO BE CONSTRUCTED FIRST AND TO BE USED AS SEDIMENT BASIN.

STORMWATER BASIN MAINTENANCE NOTE & SCHEDULE:
MONTHLY - MOW EMBANKMENTS & CLEAN TRASH & DEBRIS FROM BASIN OUTLET STRUCTURE ADDRESS ANY ACCUMULATION OF HYDROCARBONS
ANNUALLY - PERFORM ANNUAL INSPECTION OF SWM BASIN & TEMPORARY OUTLET DITCH BY A QUALIFIED PROFESSIONAL
ANNUALLY - REMOVE WOODY VEGETATION AND FIX ANY ERODING AREAS. MONITOR SEDIMENT ACCUMULATIONS IN MAIN POOL
15-20 YEARS - MONITOR SEDIMENT IN THE MAIN POOL AND CLEAN AS POND BECOMES EUTROPHIC OR POOL VOLUME IS REDUCED SIGNIFICANTLY
5-10 YEARS - REPLENISH RIP-RAP @ BASIN HEADWALLS / WEIRS / OVERFLOWS / CHECK DAMS
NOTE: (SEE LONG TERM OPERATIONS & MAINTENANCE MANUAL FOR MORE INFORMATION)

1" - 2 1/2" Marine Float

REV. No. | DATE | BY

DATE: 12/1/18
SCALE: HOR. 1"=20'
VERT. 1"=2'
FOLDER: DWG/Improvement
FILENAME: Pipe & Profile
TAB: 12-SWM Basin Detail
DRAWN: SRV

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 20 FEET

HARVEST POINTE SUBDIVISION No 1
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3480 CHARLTON ROAD - SUITE D
COLUMBIANA, OHIO 44804
PHONE: (440) 348-0722 (FAX)
WWW.POLARIS-ES.COM



SWM BASIN DETAIL

CONTRACT No. 18175
SHEET 13 OF 20

CITY OF NORTH RIDGEVILLE SWP3 STANDARD GENERAL NOTES

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

EROSION CONTROL SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED ON THE PLANS OR ORDERED BY THE GOVERNING AGENCY DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S).

TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED ON THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORESEEN DURING DESIGN STAGE; THAT REQUIRE ADDITIONAL OR MODIFIED TEMPORARY OR PERMANENT BMP'S SHALL BE APPROVED BY THE CITY ENGINEER AND REFLECTED ON THE REVISED SWP3.

SEDIMENT PONDS, SEDIMENT TRAPS, AND PERIMETER SEDIMENT CONTROLS, SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-ESTABLISHED WITH TEMPORARY VEGETATION. NO SEDIMENT CONTROLS SHALL BE PLACED IN A STREAM.

TRENCH DEWATERING OR GROUND WATER, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATER SHALL NOT BE DISCHARGED TO STREAMS OR THE STORM SEWER SYSTEM.

THE SWP3, NOTES AND DETAILED DRAWINGS ARE INTENDED TO SERVE AS BASIC GUIDELINES. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE ODNR RAINWATER AND LAND DEVELOPMENT MANUAL.

ADDITIONAL EROSION CONTROL BMP'S MAY BE MANDATED BY THE GOVERNING AGENCY AT ANY TIME DURING THIS PROJECT AS UNFORESEEN SITUATIONS MAY ARISE THAT WARRANT FURTHER EROSION AND SEDIMENT CONTROL PRACTICES.

CLEARING AND GRUBBING

LIMITS OF CLEARING AND GRADING SHALL BE CLEARLY MARKED ON THE SITE WITH SIGNAGE, FLAGGING AND/OR ORANGE CONSTRUCTION FENCING.

THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, WETLANDS OR OTHER AREAS OF WATER IMPOUNDMENT.

CONSTRUCTION ENTRANCE

A STONED CONSTRUCTION ENTRANCE SHALL BE INSTALLED FOR ALL INGRESS & EGRESS TO THE SITE. THE MINIMUM DIMENSIONS OF THE DRIVE SHALL BE 20 FT. WIDE AND 50 FT. LONG. THE STONE SHALL BE 6 INCHES DEEP WITH AN UNDERLAIN GEOTEXTILE FABRIC. THE DRIVE SHALL BE INSTALLED PRIOR TO ANY CLEARING AND GRUBBING. SEDIMENTS SHALL BE REMOVED FROM THE ROADWAYS DAILY.

STABILIZATION

PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VI OF THE ODEPA AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES). OHIO EPA PERMIT NO. OH000003 EFFECTIVE DATE 4/21/08 - EXPIRATION DATE 4/20/13 DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES BELOW:

TABLE 1: PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY AREA THAT WILL BE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREA WITHIN 50 FT. OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY SEEDING

SEEDING AREAS SHALL BE INSPECTED AND WHERE THE SEED HAS NOT PRODUCED 80% COVER SHALL BE RESEED AS NECESSARY BY THE CONTRACTOR. AREAS SHALL BE STABILIZED WITH STRAW MULCH WHEN CONDITIONS PROHIBIT SEEDING.

STRAW MULCHING SHALL BE APPLIED AT A RATE 2-3 STANDARD 45 LB. BALES PER 1000 SQ.FT. OF DISTURBED AREA OR 2 TONS PER ACRE. ALL HYDROSEEDING MUST BE STRAW MULCHED ACCORDING TO THE ABOVE SPECIFICATIONS UNLESS IT IS WATERED WEEKLY.

ALL DETENTION PONDS, RETENTION PONDS, WATER QUALITY STRUCTURES, SEDIMENT PONDS, SEDIMENT TRAPS, EARTHEN DIVERSIONS OR EMBANKMENTS SHALL BE SEEDED AND STRAW MULCHED WITHIN 7 DAYS OF COMPLETED CONSTRUCTION.

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY DISTURBED AREAS WITHIN 50 FT. OF A STREAM AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 21 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FT. OF STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTS) PRIOR TO ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 TO 3 BALES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE.

PERMANENT STABILIZATION OF CONVEYANCE CHANNELS

OPERATORS SHALL UNDERTAKE SPECIAL MEASURES TO STABILIZE CHANNELS AND OUTFALLS AND PREVENT EROSION FLOWS. MEASURES MAY INCLUDE SEEDING, DORMANT SEEDING (AS DEFINED IN THE LATEST EDITION OF "ODNR RAINWATER AND LAND DEVELOPMENT MANUAL"), MULCHING, EROSION CONTROL MATTING, SODDING, RIPRAP NATURAL CHANNEL DESIGN WITH BIO ENGINEERING TECHNIQUES OR ROCK CHECK DAMS.

SOIL TRANSPORT ONTO PUBLIC ROADS

WHERE SOIL IS TRANSPORTED ONTO PUBLIC ROAD SURFACES, THE ROADS SHALL BE CLEANED THOROUGHLY BY EITHER SWEEPING OR SCRAPING AT THE END OF EACH WORK DAY OR MORE FREQUENTLY, IN ORDER TO ENSURE PUBLIC SAFETY. STREET WASHING SHALL NOT BE PERMITTED.

ERODIBLE MATERIAL RAMPS IN STREETS TO ENABLE EQUIPMENT TO CROSS CURBS SHALL BE PROPERLY REMOVED IMMEDIATELY AFTER USE.

SILT FENCE & DIVERSIONS

SHEET FLOW RUNOFF FROM DENUDEED AREAS SHALL BE INTERCEPTED BY SILT FENCE OR DIVERSIONS TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED VIA SHEET FLOW. WHERE INTENDED TO PROVIDE SEDIMENT CONTROL, SILT FENCES SHALL BE PLACED ON A LEVEL CONTOUR. THE EPA PERMIT NO. OH000003 DOES NOT PRECLUDE THE USE OF OTHER SEDIMENT BARRIERS DESIGNED TO CONTROL SHEET FLOW RUNOFF. SILT FENCE IS NOT PERMITTED TO BE USED FOR CONTROLLING CONCENTRATED SURFACEWATER FLOW (ONLY SHEET FLOW). STORMWATER DIVERSION PRACTICES SHALL BE USED TO KEEP RUNOFF AWAY FROM DISTURBED AREAS AND STEEP SLOPES WHERE PRACTICAL. SUCH DEVICES, WHICH INCLUDE SWALES, DIKES OR BERMS, MAY RECEIVE FROM AREAS UP TO 10 ACRES.

INLET PROTECTION

INLET PROTECTION IS MANDATORY.

NON-SEDIMENT POLLUTANTS CONTROLS

NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORMWATER RUNOFF. ALL NECESSARY BMP'S MUST BE IMPLEMENTED TO PREVENT THE DISCHARGE OF NON-SEDIMENT POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS OF THE STATE. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATERS OF THE STATE. NO EXPOSURE OF STORMWATER TO WASTE MATERIALS IS RECOMMENDED.

TRENCH AND GROUND WATER CONTROL

TRENCHES SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS OF THE STATE RESULTING FROM DEWATERING ACTIVITIES. IF TRENCH OR GROUND WATERS CONTAIN SEDIMENT, IT MUST PASS THROUGH A SEDIMENT SETTLING POND OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE, PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR DEWATERING INTO A SUMP PIT, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS ARE NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE. HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.

MAINTENANCE

ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL COMPLY WITH THE MAINTENANCE SCHEDULE INCLUDED IN THE APPROVED PLANS FOR THE PROPOSED EROSION CONTROLS. A WRITTEN DOCUMENT CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUB-CONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE BMP'S MUST BE MAINTAINED AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWP3.

INSPECTION

ALL STORMWATER CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD. A WRITTEN RECORD DOCUMENTATING THE RESULTS OF THESE INSPECTIONS MUST BE CREATED AND MAINTAINED WITH THE SWP3. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWP3 SHALL BE OBSERVED TO ENSURE THAT THOSE ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING.

WASTE DISPOSAL

CONTAINERS (e.g., DUMPSTERS, DRUMS) SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.

CLEAN HARD FILL

BRICKS, HARDENING CONCRETE, AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE. CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY, SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.

CONSTRUCTION & DEMOLITION DEBRIS

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN A OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745-20).

CONSTRUCTION CHEMICAL COMPOUNDS

AREAS SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.

EQUIPMENT FUELING & MAINTENANCE

EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.

A SPILL PREVENTION CONTROL AND COUNTERMEASURES

A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 680 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS, OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.

CONCRETE WASH WATER

ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREAS.

CONTAMINATED SOILS

ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).

SPILL REPORTING REQUIREMENTS

THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800-282-9378 AND THE LOCAL FIRE DEPARTMENT IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.

OPEN BURNING

OPEN BURNING IS NOT PERMITTED.

DUST CONTROLS/SUPPRESSANTS

USED OIL MAY NOT BE USED AS A DUST SUPPRESSANT. NO DUST SUPPRESSANT SHALL BE APPLIED NEAR CATCH BASINS, STORM SEWERS OR OTHER DRAINAGE WAYS.

STREAM CROSSINGS

STREAM CROSSINGS SHALL BE CONSTRUCTED ENTIRELY OF STONE, ROCK, OR CLEAN RECYCLED CONCRETE. SOIL OR EARTHEN MATERIAL MAY NOT BE USED. A 20 FT. STONE APRON ON EITHER SIDE OF THE STREAM SHALL BE CONSTRUCTED TO PREVENT LOCALIZED SEDIMENTATION. THE CHANNELBED AND BANKS SHALL BE RESTORED, AND ALL DISTURBED AREAS OF THE BANK WITHIN 50 FT. OF THE STREAM SHALL BE STABILIZED WITH SEED AND STRAW MULCH WITHIN 2 DAYS OF THE DISTURBANCE.

PERMITS

THIS SITE IS COVERED UNDER OHIO EPA CONSTRUCTION GENERAL PERMIT # _____

THIS SITE IS COVERED UNDER ODEPA / ARMY 401 / 404 PERMIT # _____

STRUCTURAL BMP'S

PERMANENT BMP'S FOR POST CONSTRUCTION TREATMENT OF STORMWATER (CONVERSION OF SEDIMENT LAND TO STORMWATER POND) SHALL NOT BE INSTALLED UNTIL 80% OF THE DISTURBED AREA IS STABILIZED.

SEEDING AND MULCHING

SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING IMMEDIATELY UPON COMPLETION OF EXCAVATION OR FILL AND FINISHED GRADING IN ACCORDANCE WITH ITEM 859 OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER. THE FOLLOWING PRO-MIXTURE SHALL BE USED FOR SEEDING: 5-21 CERTIFIED KENTUCKY BLUE GRASS - 35% PENNSYLVANIA FESCUE - 25% MANHATTAN II RYEGRASS - 40% FERTILIZER - 10#/1000 S.F. (12-12-12) MULCH - STRAW - 2 TONS/ACRE RESTORATION OF ALL DISTURBED AREAS SHALL IMMEDIATELY FOLLOW EXCAVATION AND GRADING OPERATIONS. DELAY IN RESTORATION SHALL NECESSITATE TEMPORARY EROSION CONTROL MEASURES APPROVED BY THE ENGINEER AND AT THE CONTRACTOR'S COST.

RIPARIAN BUFFERS

THE RIPARIAN BUFFER (SETBACK) FOR ALL MAJOR AND MINOR DITCHES SHALL BE MARKED IN THE FIELD WITH ORANGE CONSTRUCTION FENCING BY THE CONSTRUCTION SITE OPERATOR PRIOR TO ANY EARTH DISTURBING ACTIVITIES

ENFORCEMENT

ALL DEVELOPMENT SITES ARE SUBJECT TO INSPECTIONS BY THE CITY OF NORTH RIDGEVILLE AUTHORIZED AGENT(S) UNDER THE DIRECTION OF THE A LICENSED PROFESSIONAL ENGINEER TO ENSURE COMPLIANCE WITH THE APPROVED SITE DEVELOPMENT PLAN OR SWM PLAN.

IF IT IS FOUND THAT THE OPERATIONS ARE BEING CONDUCTED IN VIOLATION OF THE APPROVED SITE DEVELOPMENT PLAN AND SWM PLAN, A STOP-WORK ORDER MAY BE ISSUED BY THE CITY OF NORTH RIDGEVILLE UNTIL THE IDENTIFIED VIOLATIONS CEASE.

AFTER ISSUANCE OF A STOP-WORK ORDER PROVIDED IN THE PARAGRAPH ABOVE, BUT BEFORE THE IMPOSITION OF ANY FINES, THE APPLICANT SHALL HAVE TWO (2) BUSINESS DAYS TO REQUEST A MEETING WITH THE CITY LAW DIRECTOR AND THE CITY ENGINEER TO SHOW CAUSE WHY THE WORK SHOULD NOT BE STOPPED.

FOLLOWING THE ISSUANCE OF A STOP-WORK ORDER, THE CITY OF NORTH RIDGEVILLE SHALL DETERMINE IF AND WHEN THE DEVELOPMENT MAY PROCEED. ANY DETERMINATION BY THE CITY OF NORTH RIDGEVILLE PURSUANT TO THIS SECTION IS A FINAL ORDER FOR THE PURPOSE OF JUDICIAL REVIEW.

VIOLATIONS

THE CITY OF NORTH RIDGEVILLE SHALL NOTIFY THE STORM WATER PERMITTEE OF ANY VIOLATIONS OBSERVED IN WRITING. SAID NOTICE SHALL INDICATE THE EXACT NATURE OF THE VIOLATIONS AND OTHER SPECIFIC CORRECTIONS WHICH ARE REQUIRED.

THE PERMITTEE SHALL COMPLY WITH THE TIMELINE FOR CORRECTIONS SPECIFIED BELOW. TIMELINE EXTENSIONS FOR ADVERSE WEATHER CONDITIONS MAY BE GRANTED UPON APPROVAL OF THE CITY ENGINEER.

NATURE OF VIOLATION:

NUMBER OF DAYS FROM INSPECTION TO CORRECT FUNCTIONING OF CONTROL PRACTICE:

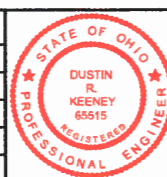
SILT FENCE	WITHIN THREE (3) DAYS
OUTLET CONTROL STRUCTURE	WITHIN THREE (3) DAYS
TEMPORARY OR PERMANENT STABILIZATION WITHIN 50' OF DRAINAGE CHANNELS	WITHIN THREE (3) DAYS
TEMPORARY OR PERMANENT STABILIZATION FOR ALL OTHER DISTURBED AREAS	WITHIN THREE (3) DAYS
STABILIZED CONSTRUCTION ENTRANCE	WITHIN THREE (3) DAYS
PUMPING SEDIMENT-LADEN DISCHARGE INTO DRAINAGE CHANNEL	IMMEDIATELY UPON NOTICE
SEDIMENT SETTLING POND	WITHIN TEN (10) DAYS
ANY OTHER CONTROL PRACTICE NOT ADDRESSED IN THIS TABLE	WITHIN THREE (3) DAYS

PENALTIES SUBSEQUENT TO ISSUANCE OF STOP-WORK ORDER

SUBSEQUENT TO ISSUANCE OF A STOP-WORK ORDER, PENALTIES MAY BE IMPOSED ACCORDING TO THE CITY OF NORTH RIDGEVILLE CODIFIED ORDINANCE 1056.08(G)(1)(A), 1056.08(G)(1)(B) OR 1056.08(G)(1)(C).

REV. 11/22/16 OCTOBER 1, 2009

REV. No.	DATE	BY	DATE:	SCALE:	VERT.:	FOLDER:	FILENAME:	TAB:	DRAWN:
			12/1/18	HOR. NA	NA	0102	0102	12-SWP3 Notes	BRV



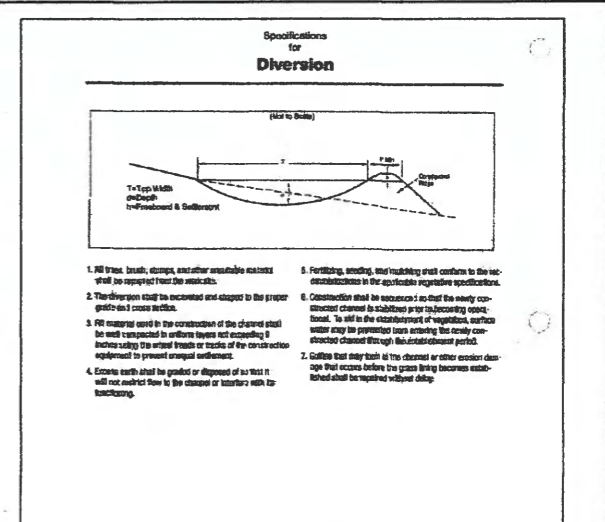
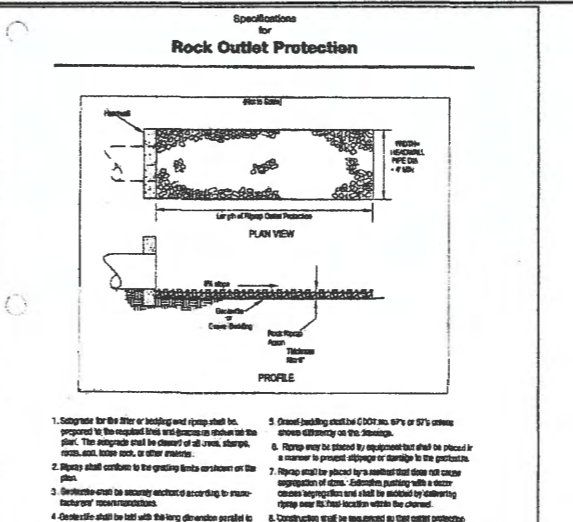
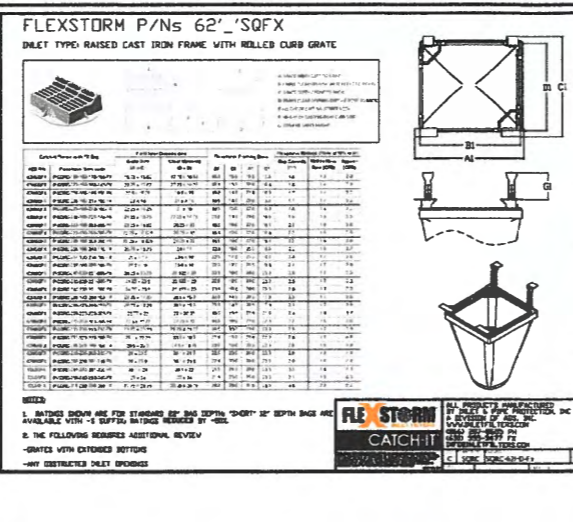
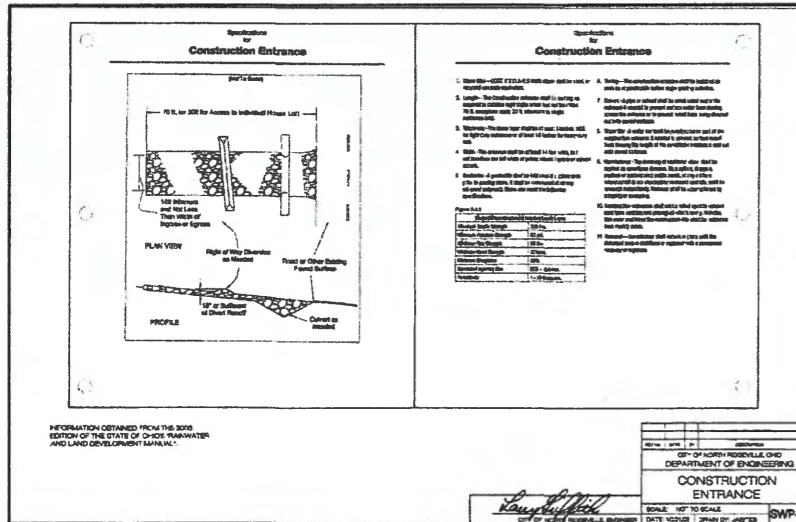
**HARVEST POINTE
SUBDIVISION No1**
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3460 CHANDLER ROAD - SUITE D
NORTH RIDGEVILLE, OHIO 43071
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SWP3 NOTES

CONTRACT No.	
18175	
SHEET	OF
14	20



INFORMATION OBTAINED FROM THE 2006 EDITION OF THE STATE OF OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL.

REV. NO. DATE BY DESCRIPTION

CITY OF NORTH RIDGEVILLE, OHIO
DEPARTMENT OF ENGINEERING

CONSTRUCTION ENTRANCE

SCALE: NOT TO SCALE

DATE: 10/01/08

DRAWN BY: JAB/TEB

SWP-27

INFORMATION OBTAINED FROM THE 2006 EDITION OF THE STATE OF OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL.

REV. NO. DATE BY DESCRIPTION

CITY OF NORTH RIDGEVILLE, OHIO
DEPARTMENT OF ENGINEERING

ROCK OUTLET PROTECTION

SCALE: NOT TO SCALE

DATE: 10/01/08

DRAWN BY: JAB/TEB

SWP-7

INFORMATION OBTAINED FROM THE 2006 EDITION OF THE STATE OF OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL.

REV. NO. DATE BY DESCRIPTION

CITY OF NORTH RIDGEVILLE, OHIO
DEPARTMENT OF ENGINEERING

DIVERSION

SCALE: NOT TO SCALE

DATE: 10/01/08

DRAWN BY: JAB/TEB

SWP-8

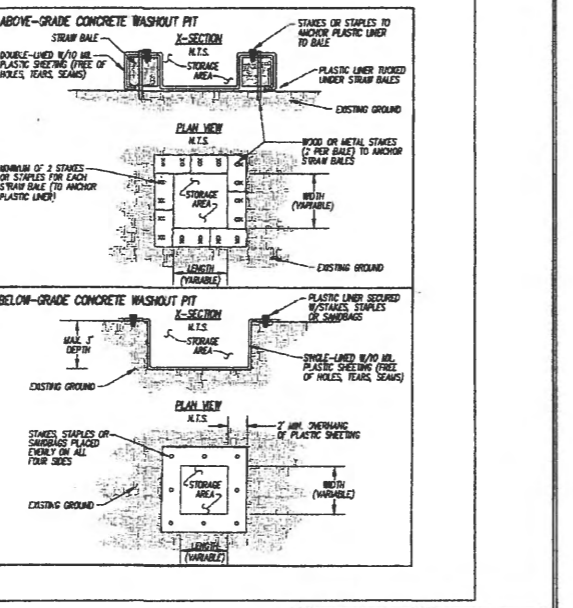
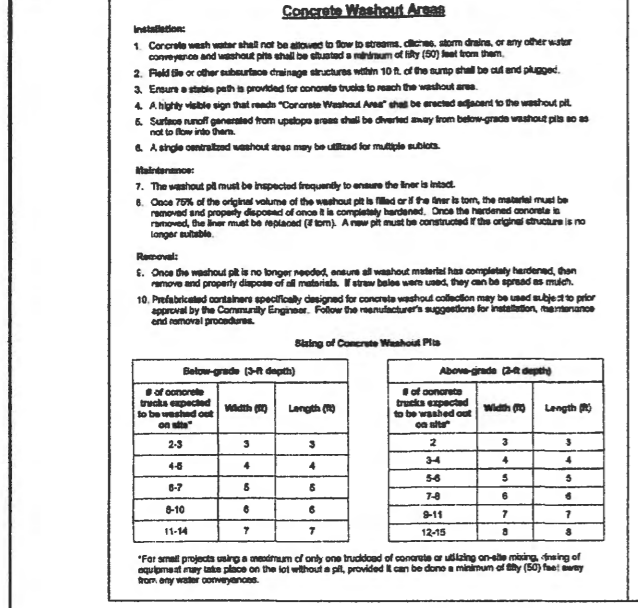


Table of Concrete Washout Pit Dimensions:

Below-grade (3-4' depth)	Width (ft)	Length (ft)
2-3	3	3
4-6	4	4
6-7	5	5
8-10	6	6
11-14	7	7

INFORMATION OBTAINED FROM THE 2006 EDITION OF THE STATE OF OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL.

REV. NO. DATE BY DESCRIPTION

CITY OF NORTH RIDGEVILLE, OHIO
DEPARTMENT OF ENGINEERING

CONCRETE WASHOUT

SCALE: NOT TO SCALE

DATE: 10/01/08

DRAWN BY: JAB/TEB

SWP-33

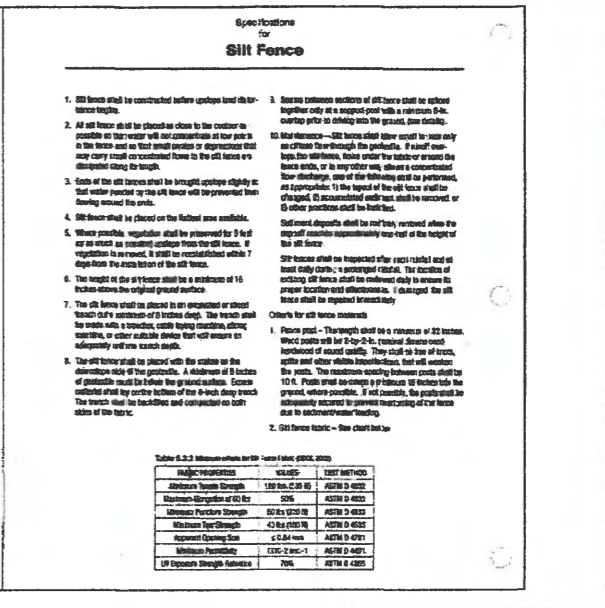
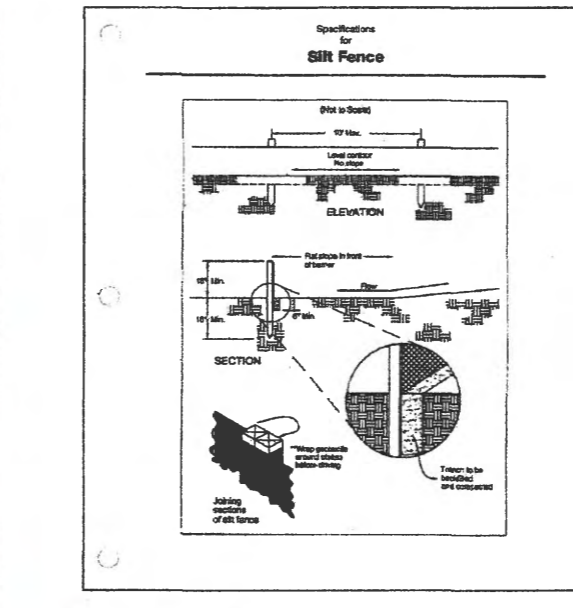


Table of Silt Fence Dimensions:

Below-grade (3-4' depth)	Width (ft)	Length (ft)
2-3	3	3
4-6	4	4
6-7	5	5
8-10	6	6
11-14	7	7

INFORMATION OBTAINED FROM THE 2006 EDITION OF THE STATE OF OHIO'S RAINWATER AND LAND DEVELOPMENT MANUAL.

REV. NO. DATE BY DESCRIPTION

CITY OF NORTH RIDGEVILLE, OHIO
DEPARTMENT OF ENGINEERING

SILT FENCE

SCALE: NOT TO SCALE

DATE: 10/01/08

DRAWN BY: JAB/TEB

SWP-18

HARVEST POINTE
SUBDIVISION No 1
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

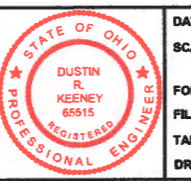
POLARIS ENGINEERING & SURVEYING, INC.
3480 CHARDON ROAD - SUITE D
LORAIN, OHIO 44133
(440) 944-4433
(440) 944-9772 (Fax)
www.polaris-ea.com



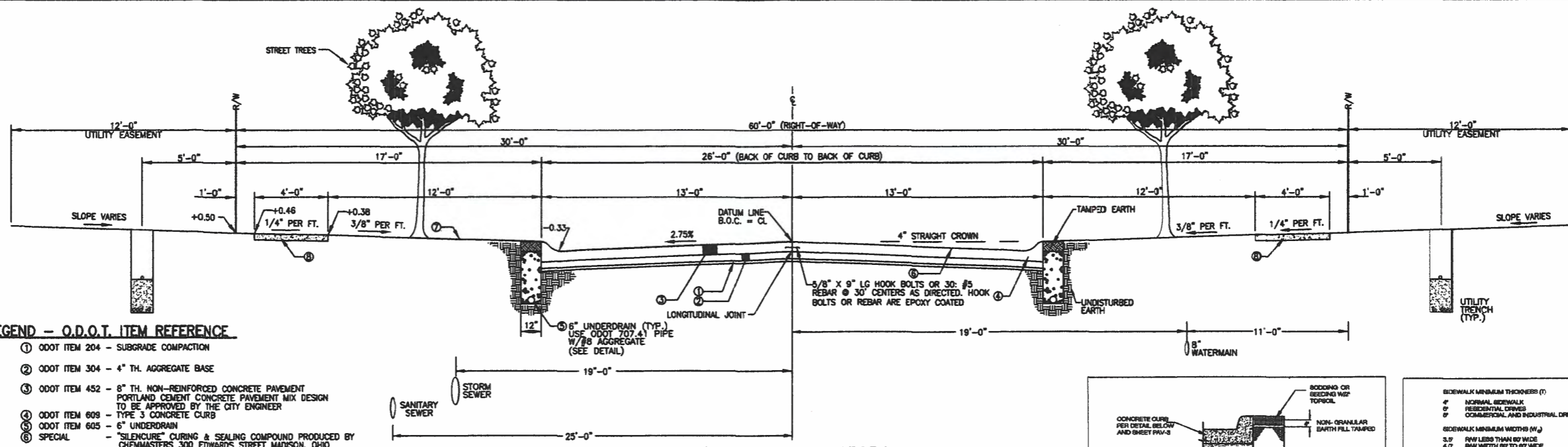
SWP3 DETAILS

CONTRACT No. 18175

SHEET 15 OF 20

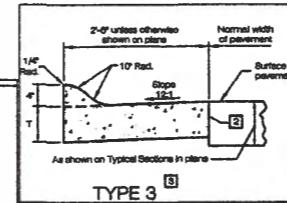
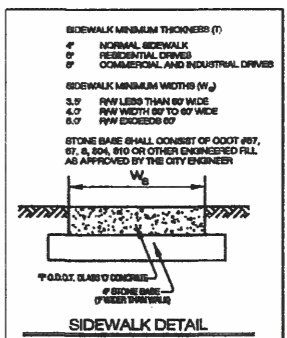
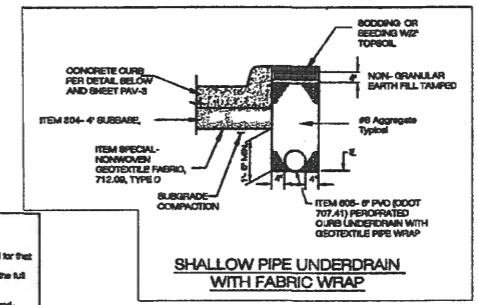


DATE: 12/11/08
SCALE: HOR. NA
VERT. NA
FOLDER: SWP3 Improvement
FILENAME: G:\office & Utility
TAB: 15-SWP3 Details
DRAWN: SRV

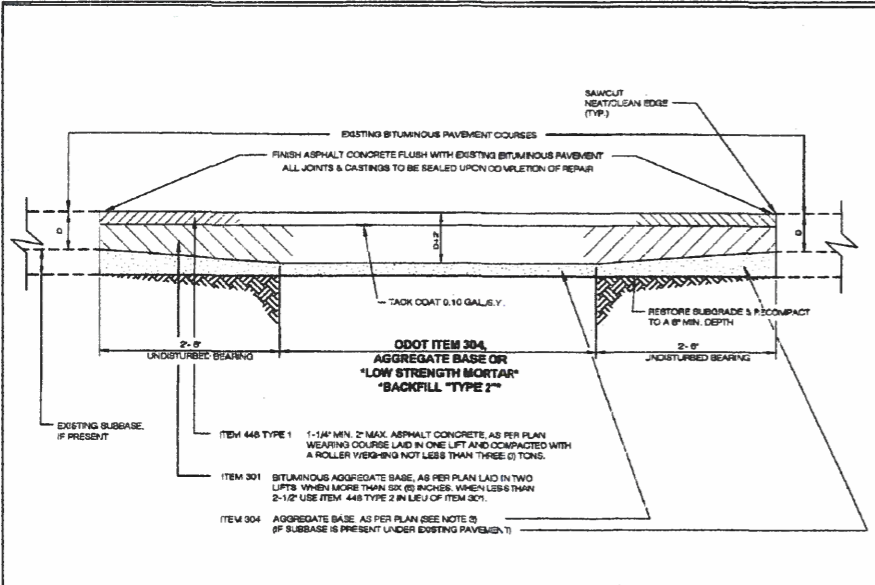


- LEGEND -- O.D.O.T. ITEM REFERENCE**
- ① ODOT ITEM 204 - SUBGRADE COMPACTION
 - ② ODOT ITEM 304 - 4" TH. AGGREGATE BASE
 - ③ ODOT ITEM 452 - 8" TH. NON-REINFORCED CONCRETE PAVEMENT PORTLAND CEMENT CONCRETE PAVEMENT MIX DESIGN TO BE APPROVED BY THE CITY ENGINEER
 - ④ ODOT ITEM 609 - TYPE 3 CONCRETE CURB
 - ⑤ ODOT ITEM 605 - 6" UNDERDRAIN
 - ⑥ SPECIAL - "SILENCURE" CURING & SEALING COMPOUND PRODUCED BY CHEMMASTERS 300 EDWARDS STREET MADISON, OHIO WWW.CHEMMASTERS.NET
 - ⑦ ODOT ITEM 659 - SEEDING AND MULCHING
 - ⑧ ODOT ITEM 608 - CONCRETE WALK T=4" (6" AT DRIVE LOCATIONS)

TYPICAL ROADWAY SECTION
NOT TO SCALE



- LEGEND**
- ① Expansion joint material and joint sealant is not required for the portion of the curb which is adjacent to a flexible type pavement. Both materials are required as detailed for the full length of rigid pavement and concrete bases.
 - ② Joint seals shall be provided between combined curb-and-outlet and new or existing rigid pavements, with its bars or hook bolts provided at intervals of 6 feet. See PAV-7 for details of its bars and hook bolts.
 - ③ Curb shall be provided with pavement for proposed concrete pavement.



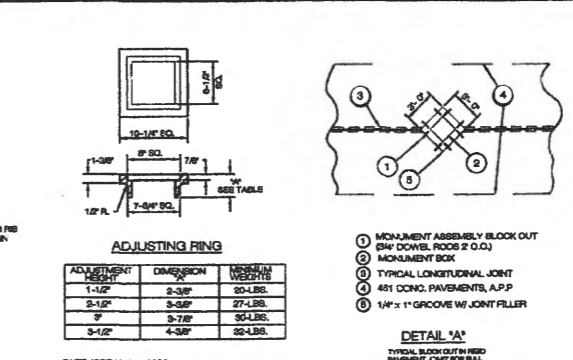
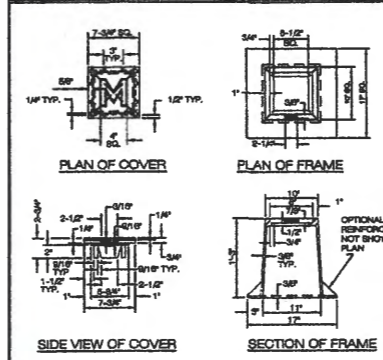
- NOTES:**
- TRENCH BACKFILL MATERIAL SHALL BE ODOT ITEM 304 AGGREGATE BASE OR LOW STRENGTH MORTAR BACKFILL MATERIAL, 100 B, TYPE 2 AS DIRECTED BY THE ENGINEER. THE SPECIFICATION FOR THIS IS AS CONTAINED IN THE O.D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS, LATEST EDITION, ITEM #12, MODIFIED HEREIN.
 - ITEMS 501, 448 TYPE 2 AND 448 TYPE 1 SHALL BE AS SPECIFIED IN THE CURRENT EDITION OF THE ODOT C.M.S.
 - WHERE THREE (3) INCHES OR LESS OF ITEM 304, AS PER PLAN IS REPLACED, USE SCREENINGS GRADED IN ACCORDANCE WITH 705.10 EXCEPT THAT THE MINIMUM PERCENT PASSING THE NO. 100 SIEVE SHALL BE FIVE (5) PERCENT.
 - TRAFFIC SHALL BE MAINTAINED IN A SAFE AND SATISFACTORY MANNER CONFORMING TO THE REQUIREMENTS OF ITEM 514-MAINTAINING TRAFFIC AND THE GENERAL PROVISIONS OF THE O.D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND IN COMPLIANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (O.M.U.T.C.D.) FOR TRENCH OPENINGS REQUIRING PAVEMENT AND/OR BERM OPENING PERMITS, THE APPLICANT SHALL FURNISH A MAINTENANCE OF TRAFFIC AND/OR, IF REQUIRED, A DETOUR PLAN TO THE ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
 - AGGREGATE OR PAVED SHOULDER AREAS AND NON-PAVED BERM OR TREE LAWN AREAS WITHIN THE RIGHT-OF-WAY SHALL BE RESTORED OR REPLACED IN ACCORDANCE WITH THE PLANS OR AS DIRECTED TO MANUALLY MATCH THEIR PREVIOUSLY UNDISTURBED CONDITIONS.
 - BASE MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 4" THICKNESS LOOSE DEPTH BY USE OF MECHANICAL COMPACTORS OR OTHER APPROVED COMPACTORS.
 - WHEN THE USE OF STEEL PLATE IS NECESSARY FOR THE FOLLOWING:
 - NOVEMBER 15 TO APRIL 15 - STEEL PLATES ARE TO BE USED TO PREPARE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND THE STEEL PLATE. TEMPORARY ASPHALT TO BE USED IF REQUIRED.
 - APRIL 15 TO NOVEMBER 14 - STEEL PLATES ARE TO BE INSTALLED ON THE SURFACE OF THE EXISTING PAVEMENT, FINISHED IN PLACE AND PAVED WITH THE APPROPRIATE TEMPORARY ASPHALT.
- * The use of Foundry Sand or slag is strictly prohibited. *

REV. No.	DATE	BY	DESCRIPTION

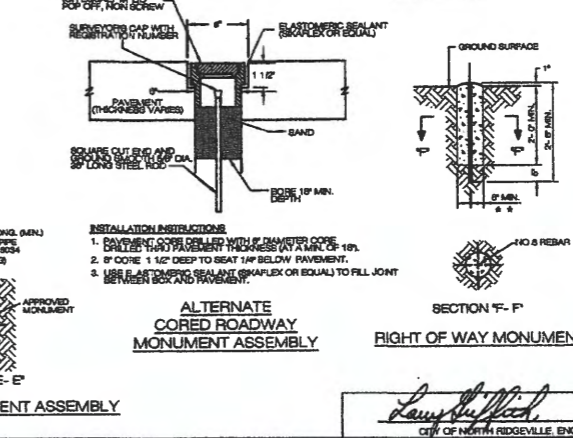
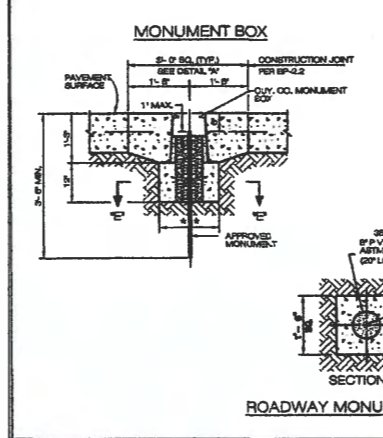
CITY OF NORTH RIDGEVILLE, OHIO
DEPARTMENT OF ENGINEERING

FLEXIBLE PAVEMENT REPAIR DETAIL

SCALE: NOT TO SCALE
DATE: 10/07/08 | DRAWN BY: JAB/TEB | PAV-5

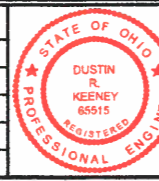


- NOTES**
- CASTINGS**
- SHALL MINIMALLY MEET THE REQUIREMENTS OF 804.02-711.12, A.S.T.M. A 48, CLASS 55 GRAY IRON OR 711.13 DUCTILE IRON.
- THE ASSEMBLY SHALL BE ESSENTIALLY THE SAME AND EQUALLY AS STRONG AS THOSE HEREON.
- MINIMUM WEIGHTS:**
- FRAME: 24 LBS.
COVER: 16 LBS.
- PROVIDED THEY COMPLY WITH THE SPECIFICATIONS, DETAILS, DIMENSIONS AND MINIMUM WEIGHTS.
- MINIMUM: 1/4" MIN. DUCTILE IRON EAST AFRICAN, NO. 588 OR APPROVED EQUAL CASTINGS ARE ACCEPTABLE.
- BEARING AREAS SHALL BE FINISHED AS TO PROVIDE A FIRM AND EVEN SEAT. NO PROJECTION SHALL EXIST ON THE BEARING AREAS AND THE COVER SHALL SEAT IN ITS FRAME WITHOUT ROCKING.
- PRIOR TO CONSTRUCTION OF PAVEMENT, THE FRAME SHALL BE SET TO GRADE IN SUCH A MANNER THAT WILL PREVENT ANY PAVEMENT MATERIAL FROM ENTERING THE CASTING.
- MONUMENT CAPS WILL BE FURNISHED BY THE CLIENT AND REGIONAL GEODETIC SURVEY (G.S.) OFFICE. CONTACT CUYAHOGA COUNTY ENGINEER SURVEY OFFICE TWO (2) WORKING DAYS BEFORE CONSTRUCTION.
- ALL MONUMENTS ARE TO BE SET AND CAPPED UNDER DIRECTION OF A REGISTERED SURVEYOR. (REF. O.A.C. 4765-07-03)
- LEGEND**
- ① ITEM 408 - CONCRETE, CLASS 1"
 - ② SAND, ITEM 705.02 - COMPACTED AS REQUIRED
- ** UNDISTURBED BEARING AND/OR SUITABLE FIRM FOUNDATION PROVIDED IN ACCORDANCE WITH 604.04 AND TO THE SATISFACTION OF THE ENGINEER.



- NOTES**
- INSTALLATION INSTRUCTIONS:**
- PAVEMENT SHALL BE SET WITH 1/2" DIAMETER CORE DIALTER THAT IS 1/2" DEEP TO 1/2" BELOW PAVEMENT.
 - IF CORE IS 1/2" DEEP TO 1/2" BELOW PAVEMENT.
 - USE PLASTERING SEALANT (SAPLEX OR EQUAL) TO FILL JOINT BETWEEN BOX AND PAVEMENT.
- SECTION "E-E"**
- SECTION "F-F"**
- RIGHT OF WAY MONUMENT**
- MONUMENT BOX ASSEMBLIES**
- SCALE: NOT TO SCALE
DATE: 10/07/08 | DRAWN BY: JAB/TEB | PAV-2

REV. No.	DATE	BY	DESCRIPTION



DATE: 12/1/08
SCALE: HOR. NA
VERT. NA
FOLDER: 0192/Improvement
FILENAME: Title Notes Details
TAB: 16-Pavement Details
DRAWN: SHV

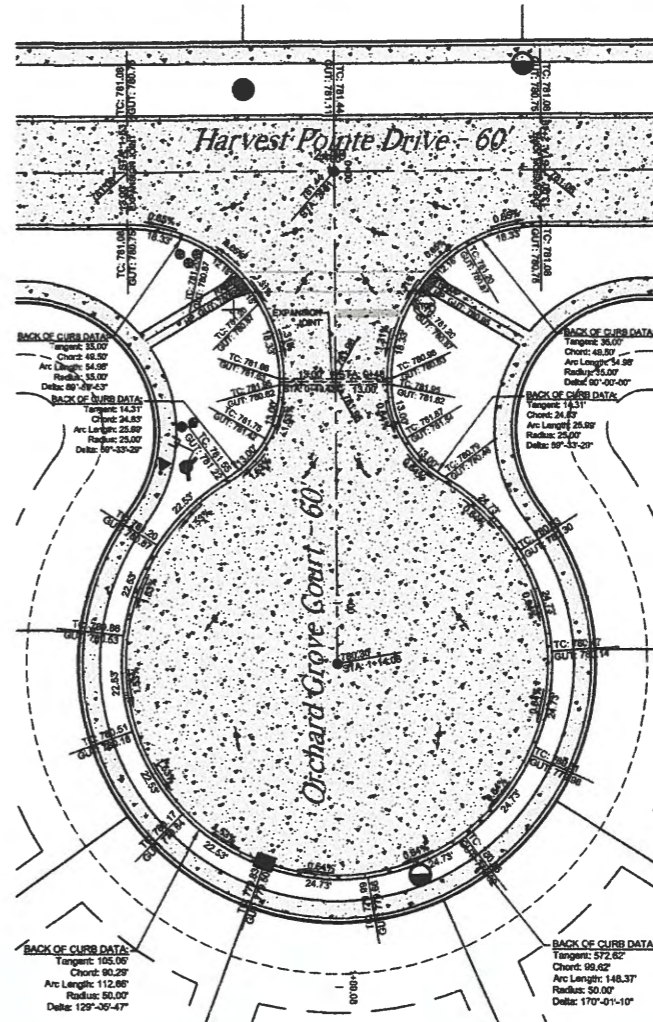
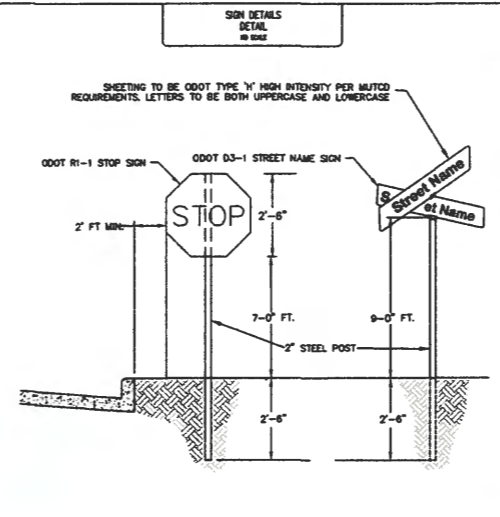
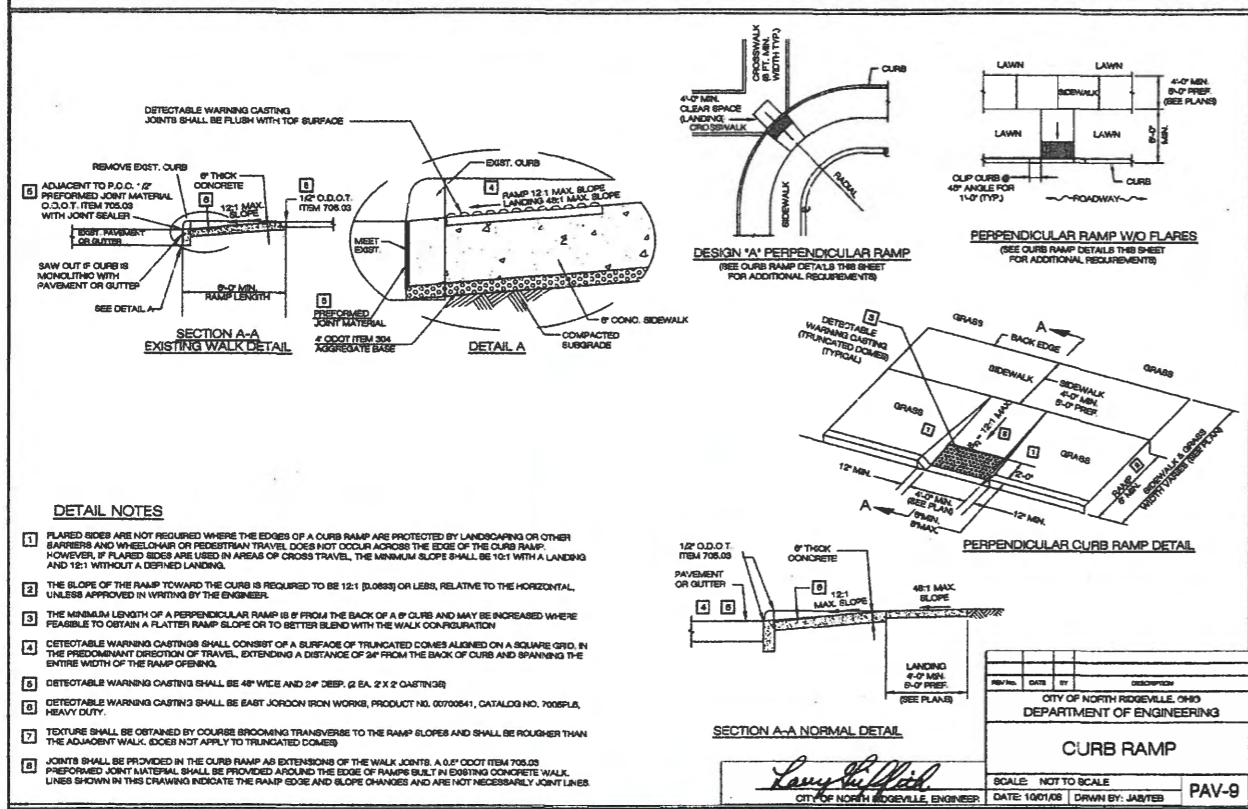
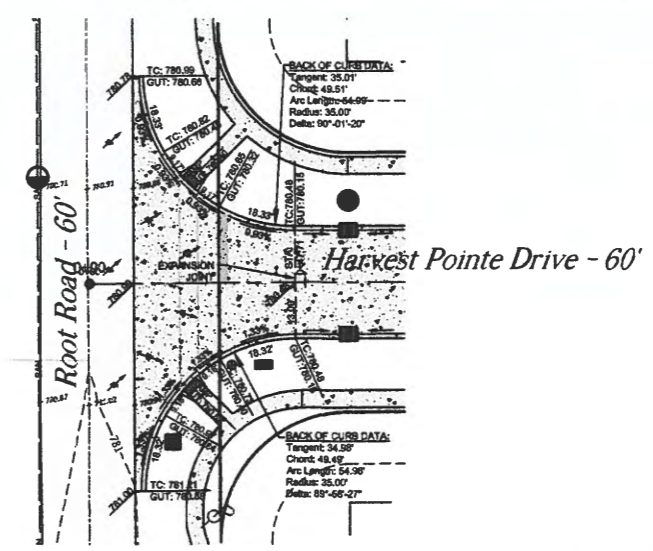
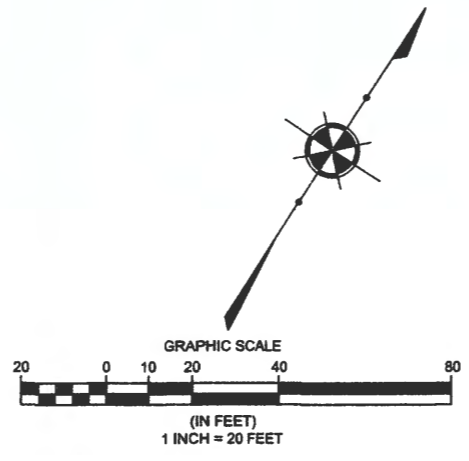
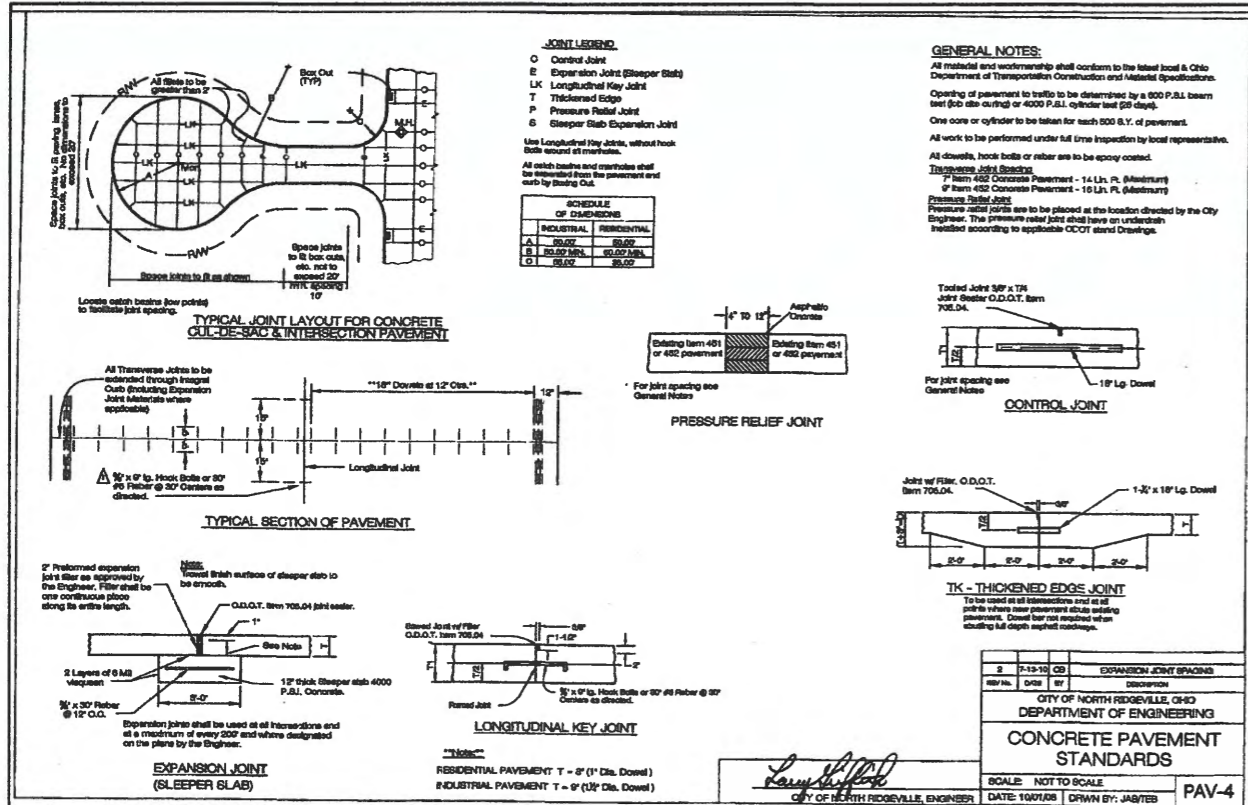
HARVEST POINTE
SUBDIVISION No 1
CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
3480 CHARDON ROAD - SUITE D
MADISON, OHIO 44040
(440) 844-4433 (440) 844-9722 (Fax)
www.polaris-es.com



PAVEMENT DETAILS

CONTRACT No. 18175
SHEET 16 OF 20



REV. No.	DATE	BY

STATE OF OHIO
DUSTIN R. KEENEY
REGISTERED PROFESSIONAL ENGINEER

PAV-9
 DATE: 12/1/18
 SCALE: HOR. 1"=20'
 VERT. NA
 FOLDER: DWG/Improvement
 FILENAME: This, Notes, Details
 TAB: 17-Pavement Details
 DRAWN: BRV

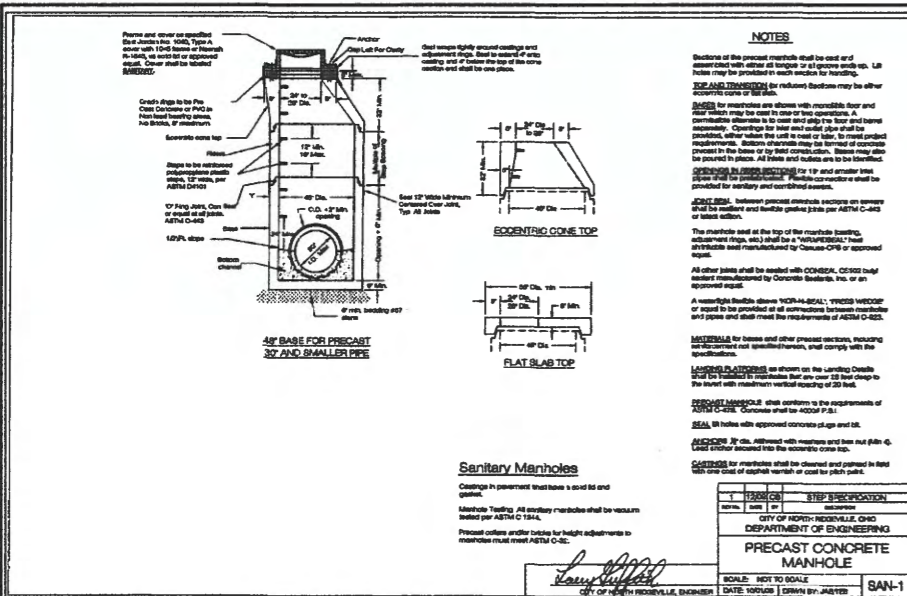
HARVEST POINTE
SUBDIVISION No 1
 CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
 14800 CHARLTON ROAD - SUITE D
 NORTH RIDGEVILLE, OHIO 44130
 (440) 944-4433 (440) 944-5772 (Fax)
 www.polaris-es.com

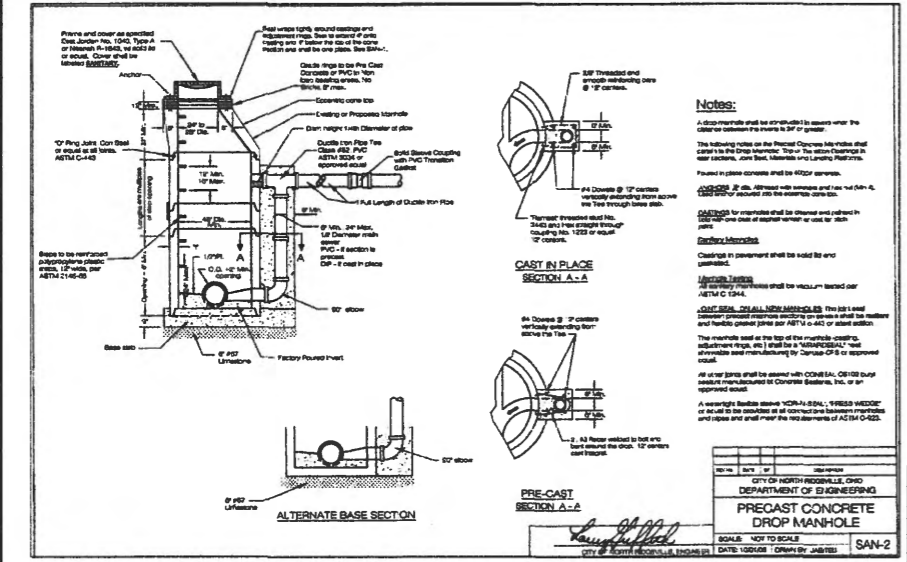


PAVEMENT DETAILS

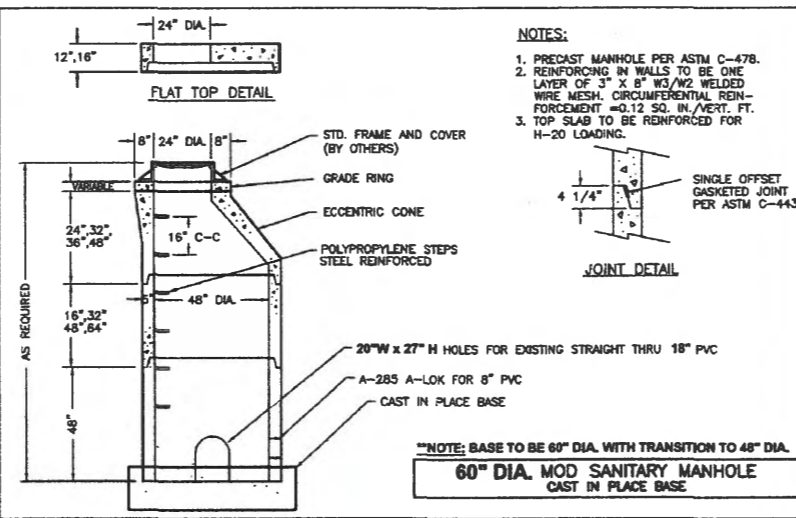
CONTRACT No.	
18175	
SHEET	OF
17	20



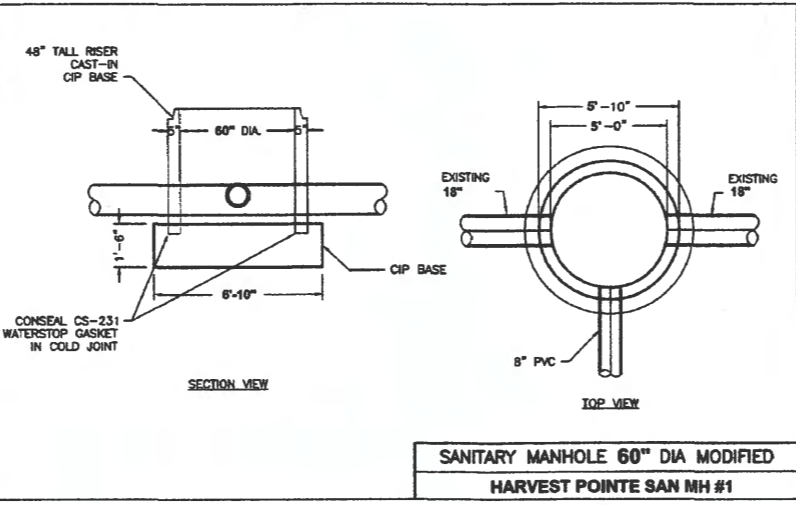
NOTES:
 Sections of the precast manhole shall be cast or placed in place with vertical or horizontal joints. All joints shall be provided in such manner for handling.
TOP AND BOTTOM JOINTS: For reduced headroom manholes, the joints may be other than the standard joints.
MANHOLE JOINTS: Manhole joints shall be cast or placed in place with vertical or horizontal joints. All joints shall be provided in such manner for handling.
CASTING: Castings shall be cast and placed in accordance with the following notes:
 Manhole Top: All sanitary manholes shall be vacuum tested per ASTM C-1544.
 Precast manhole and/or covers for height adjustments in manholes must meet ASTM C-415.



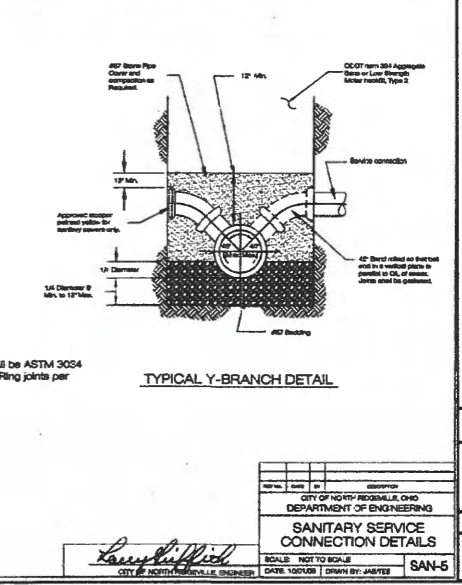
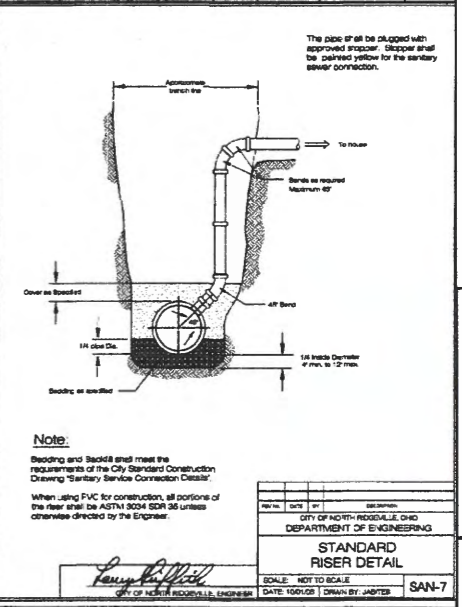
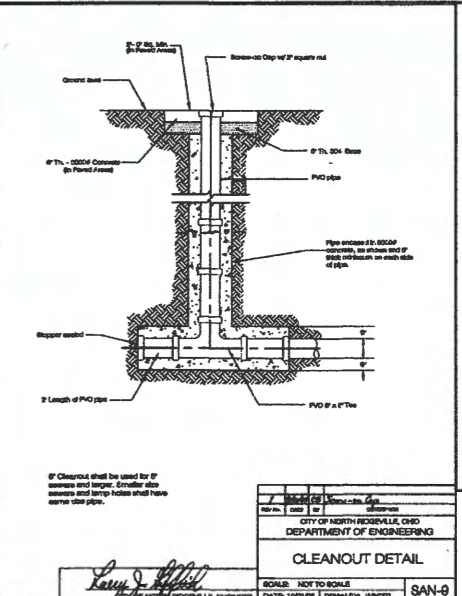
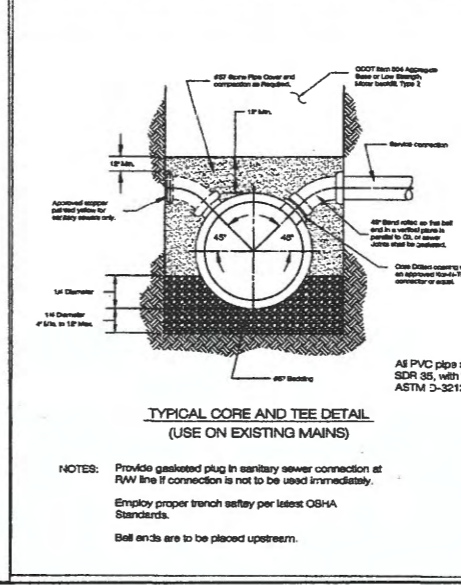
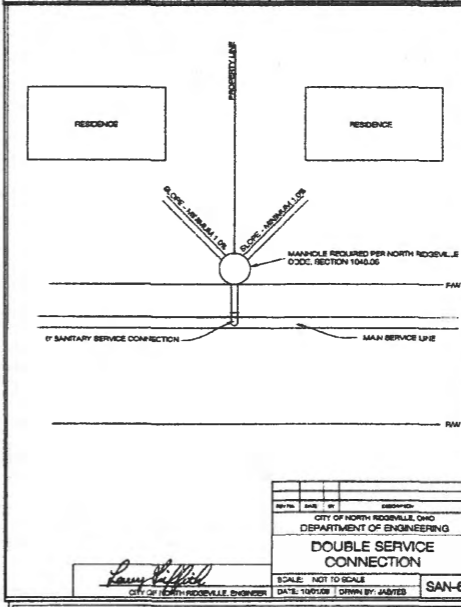
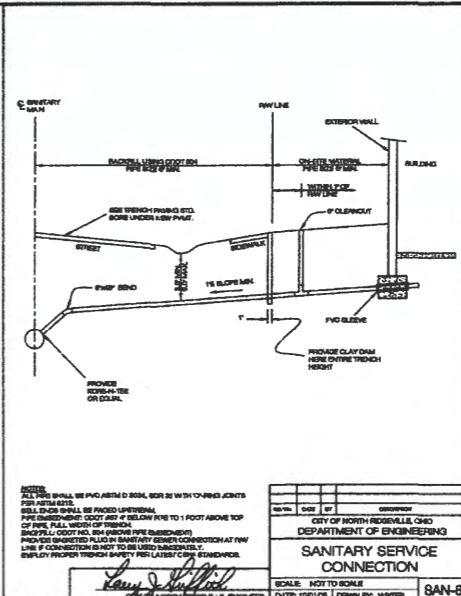
NOTES:
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CASTING: Castings shall be cast and placed in accordance with the following notes:
 Manhole Top: All sanitary manholes shall be vacuum tested per ASTM C-1544.
 Precast manhole and/or covers for height adjustments in manholes must meet ASTM C-415.



NOTE: BASE TO BE 60" DIA. WITH TRANSITION TO 48" DIA.
60" DIA. MOD SANITARY MANHOLE CAST IN PLACE BASE



SANITARY MANHOLE 60" DIA MODIFIED HARVEST POINTE SAN MH #1



REV. No.	DATE	BY

STATE OF OHIO
DUSTIN R. KEENEY
REGISTERED PROFESSIONAL ENGINEER

DATE: 12/1/08
 SCALE: HOR. NA
 VERT. NA
 FOLDER: DWG/Improvements
 FILENAME: Title Notes/Details
 TAB: 10-Sanitary Details
 DRAWN: SRV

HARVEST POINTE SUBDIVISION No 1
 CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

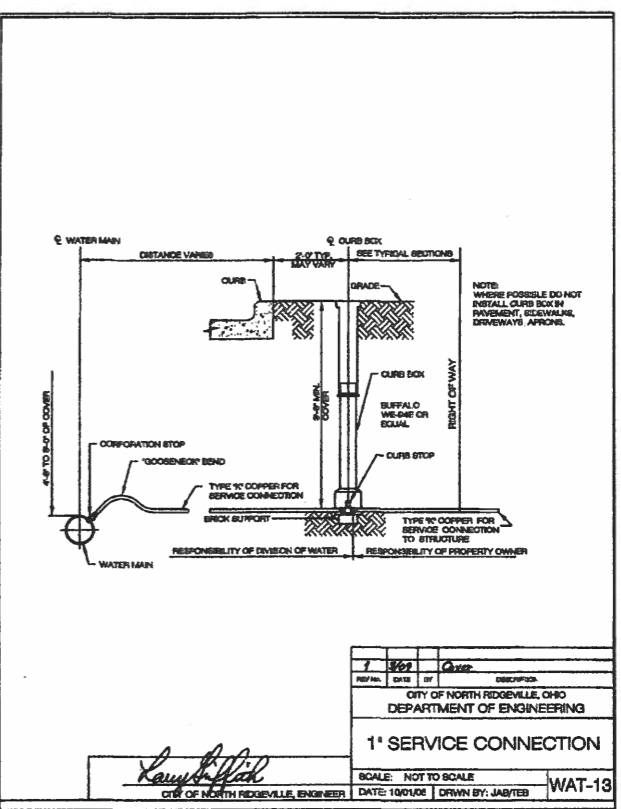
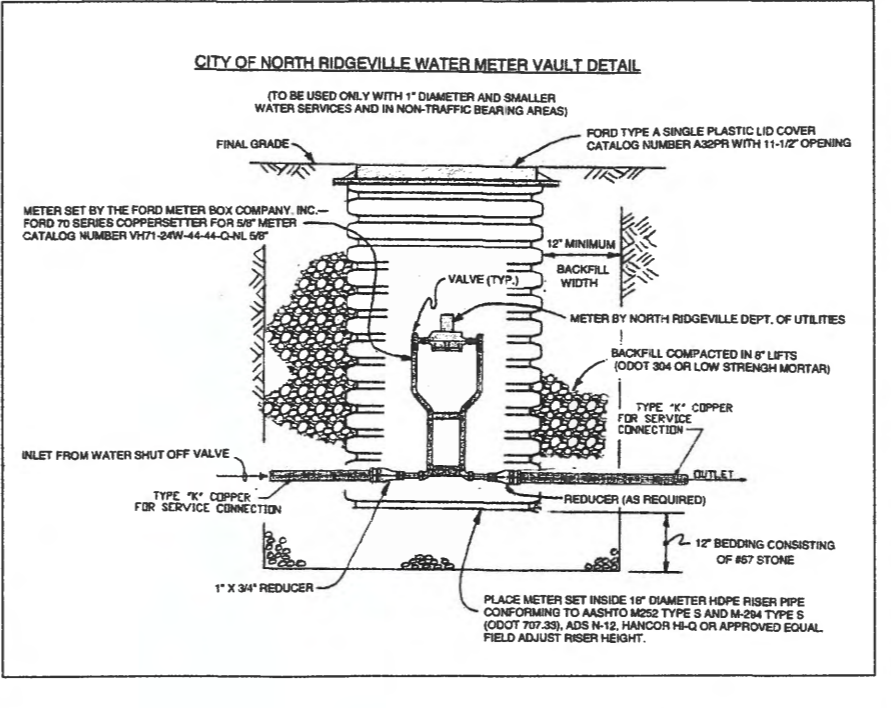
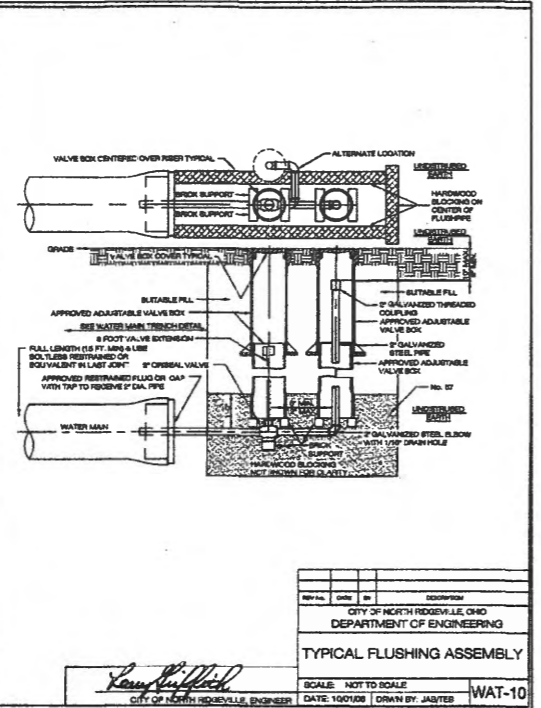
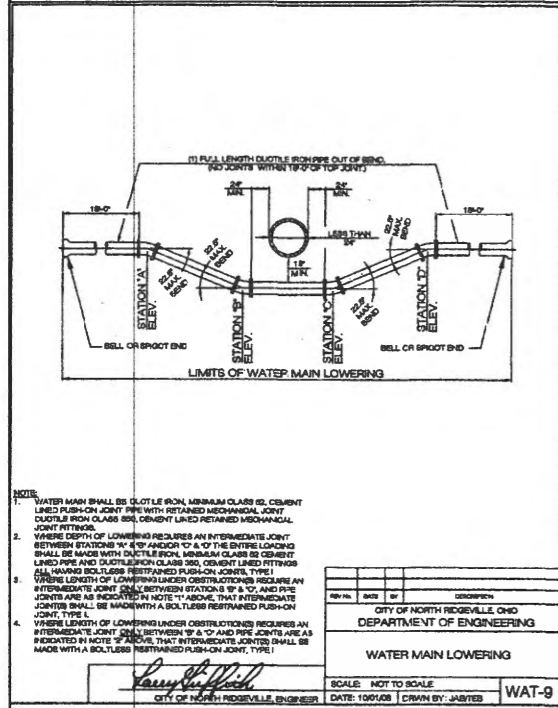
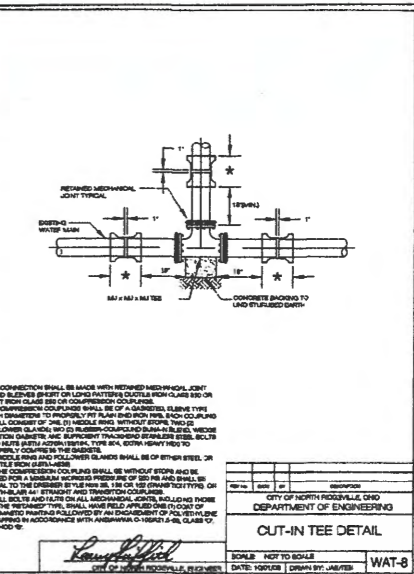
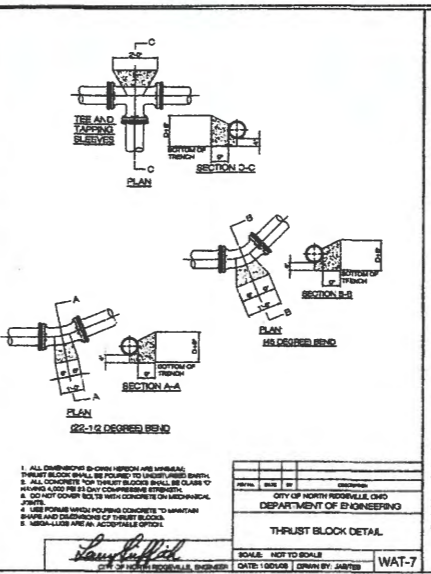
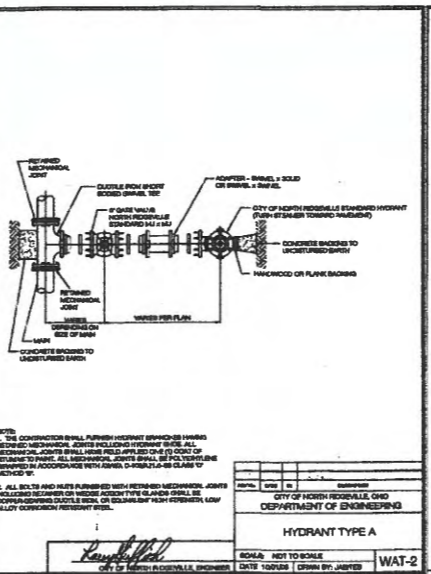
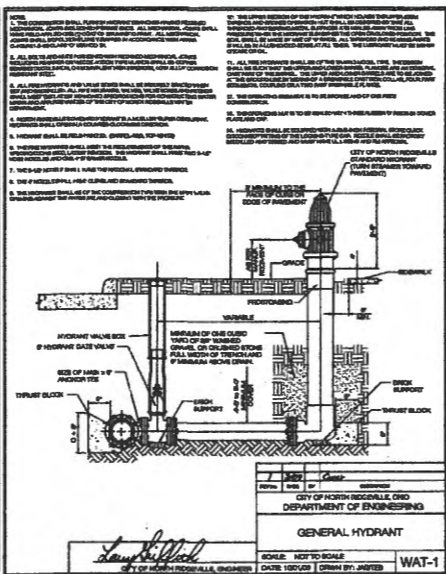
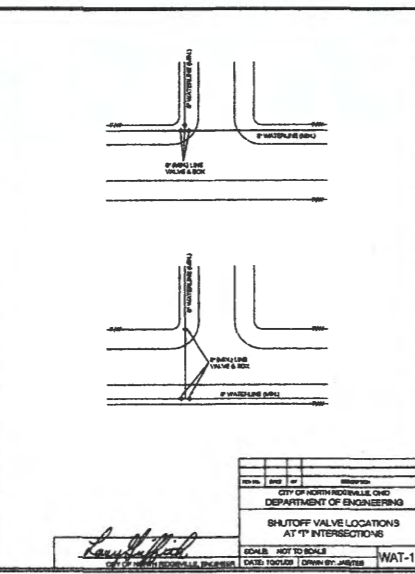
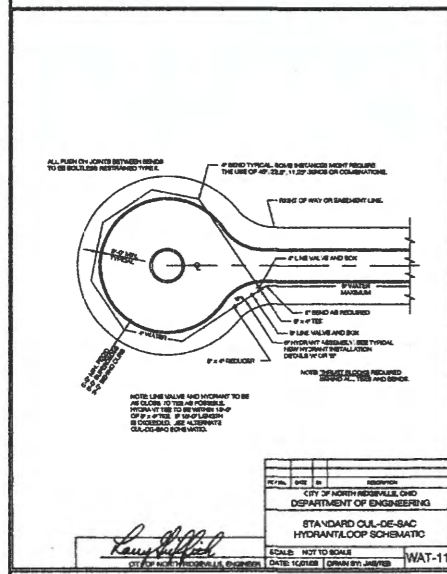
POLARIS ENGINEERING & SURVEYING, INC.
 34800 CHARDON ROAD - SUITE D
 WILLOUGHBY HILLS, OHIO 44094
 (440) 944-0722 (Fax)
 www.polarisinc.com

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 Engineering & Surveying

SANITARY DETAILS

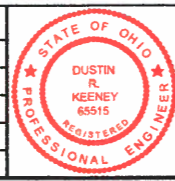
CONTRACT No. **18175**

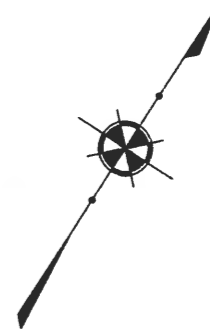
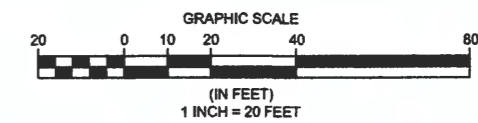
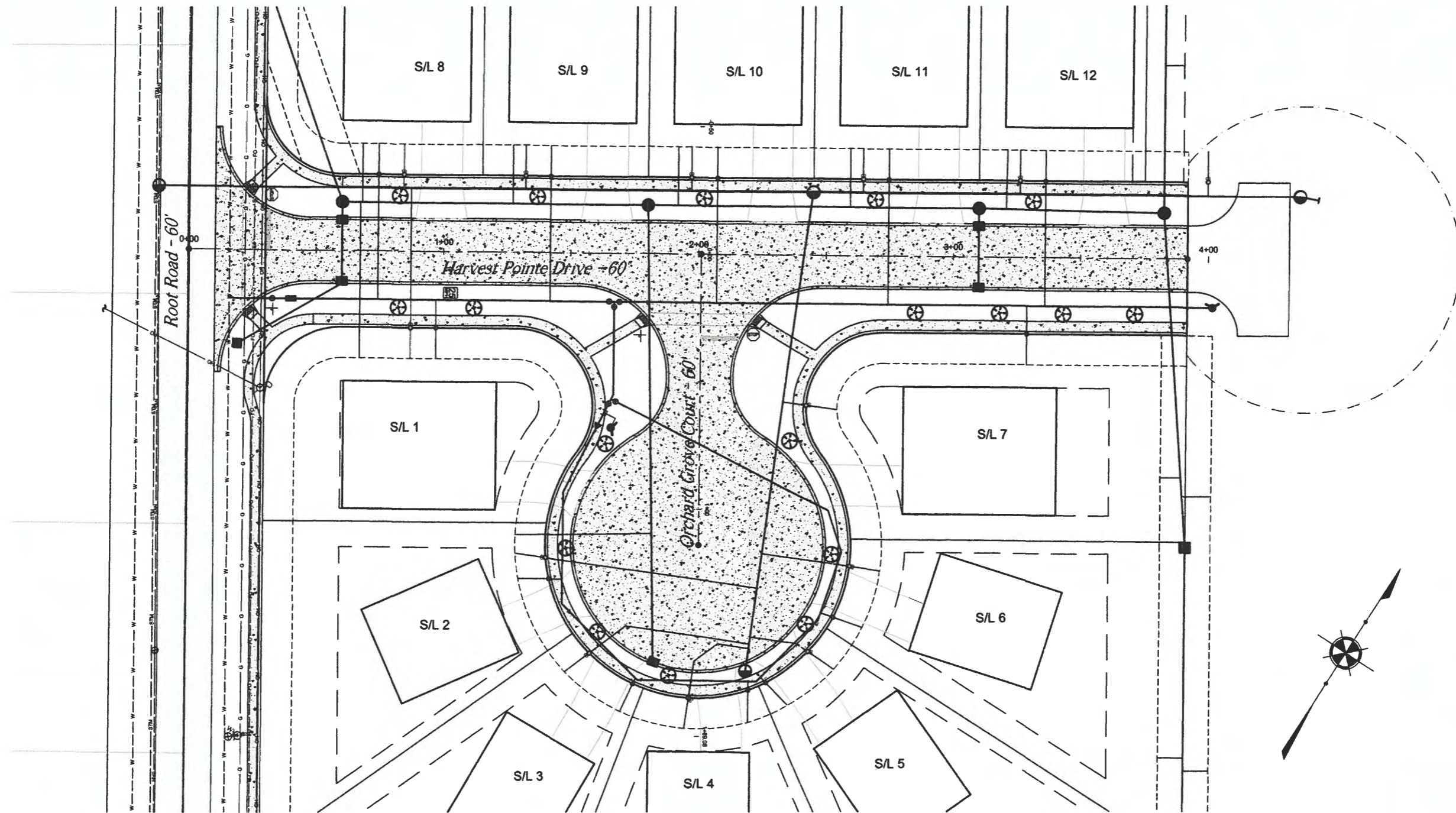
SHEET **18** OF **20**



REV. No.	DATE	BY	DESCRIPTION

DATE: 12/15/08
SCALE: HOR. NA
VERT. NA
FOLDER: DWG/Improvement
FILENAME: This/Notes/Details
TAB: 20-Water Details
DRAWN: JAB





REV. No.	DATE	BY	STATE OF OHIO DUSTIN R. KEENEY REGISTERED PROFESSIONAL ENGINEER	DATE: 7/15/18
				SCALE: HOR. 1"=20'
				VERT. NA
				FOLDER: DWG/Improvement
				FILENAME: T1-Street Tree Plan
				TAB: T1-Street Tree Plan
				DRAWN: gmv

**HARVEST POINTE
SUBDIVISION No1**

CITY OF NORTH RIDGEVILLE - LORAIN COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
5400 CHAMBERLAIN ROAD, SUITE D
NORTH RIDGEVILLE, OHIO 44130
(440) 844-4433 (440) 844-3722 (Fax)
www.polaris-ea.com



STREET TREE PLAN

CONTRACT No.

18175

SHEET	OF
T1	T1

Engineering Fee Paid: \$ 375.00
Receipt No.: 186819
 Cash Check - Check No.: 50452
(See attached for description of fees.)



Planning Commission & Bldg. Admin. Fees: \$ 110.00
Receipt No.: 0007354
 Cash Check - Check No.: 50451
(See attached for description of fees.)

RECEIVED

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
REQUEST FOR ACTION**

Received: MAR 20 2020 Date Released to Planning Commission: 03/26/2020
Date of Planning Commission Meeting: April 14, 2020 (Unless otherwise notified.)

APPLICANT INFORMATION AND REQUEST

APPLICANT: Tony Perez PROPERTY OWNER: North Ridgeville Senior Living LLC
COMPANY NAME: Lemmon Development ADDRESS: 821 S. Main Street
ADDRESS: 8230 Pittsburg Ave., NW CITY / STATE: North Canton, OH ZIP: 44720
CITY / STATE: North Canton, OH ZIP: 44720 PHONE NO.: 330-497-8686
PHONE NO.: 330-497-8686 SIGNATURE: [Signature]
SIGNATURE: [Signature] (Owner's original signature must be submitted with application.)
EMAIL ADDRESS: tperez@lemmonandlemmon.com

Please provide an email address, fax number or mailing address to send Administrative comments in advance of the meeting.

LOCATION OF PROPERTY/ADDRESS: Bagley Road North
PERMANENT PARCEL NO.: 0700011102154 ZONING OF PROPERTY: SDDD-B
ZONING OF ADJACENT PROPERTY TO: NORTH R1 EAST R1 SOUTH R-1 WEST SDDD-B
DESCRIPTION OF REQUEST: Revision to Final Site Plan
Change 89 Unit Independent Living to 26 Villa Units

Have the Planning Commission or Board of Zoning and Building Appeals considered any prior request concerning this property? Yes No

If yes, list dates and nature of each: 6-16-17 SDD-B Preliminary Plan
7-27-17 SDD-B Final Plan

On the attached form, list the current record title owners(s) adjacent to the property of request. Include on this list the record title owner(s) name(s), permanent parcel number(s) and mailing address(es). Adjacent properties shall include those properties bordering to the north, south, east, west, across a street from the property involved and those properties meeting corners of the property involved.

In the event of property transfers, the applicant shall be responsible for providing an updated list of current adjacent record title owner(s) to the office of the Clerk of Council twenty-five days prior to the date of any public hearing when the applicant will appear on the agenda.

PLANNING COMMISSION USE ONLY: APPROVED DISAPPROVED

All approvals are conditional until applicant fully meets the requirements of applicable City ordinances enforced by the Chief Building Official, City Engineer, Fire Department and Police Department with respect to safety and design.

Board of Building & Zoning Appeals Approval Required
 Conditions as set forth by the Commission on this date are: _____

Date: _____ Signature: _____
(Presiding Officer at Meeting)

Return completed form to Building Dept., 7307 Avon Belden Road, North Ridgeville, Ohio, 44039 after Commission action.

Engineering Fee Paid: \$ _____

Receipt No.: _____

Cash Check - Check No.: _____

(See attached for description of fees.)

Planning Commission & Bldg. Admin. Fees: \$ _____

Receipt No.: _____

Cash Check - Check No.: _____

(See attached for description of fees.)

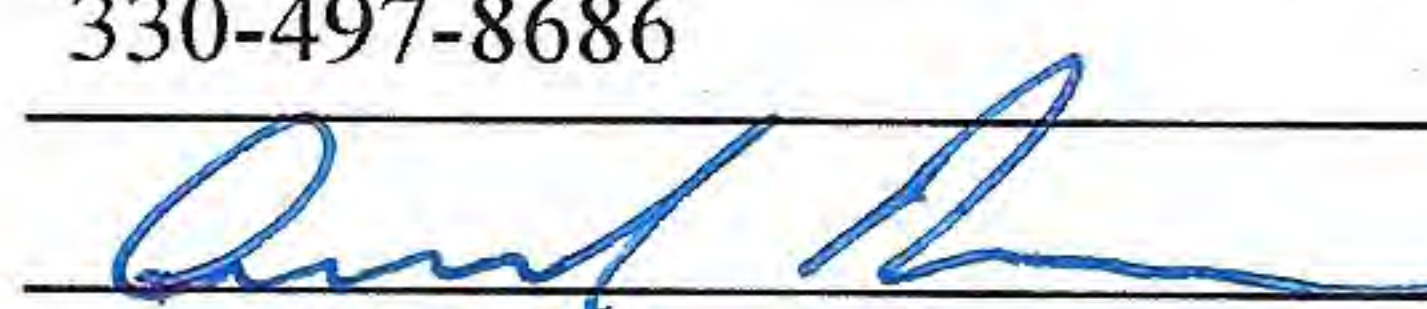
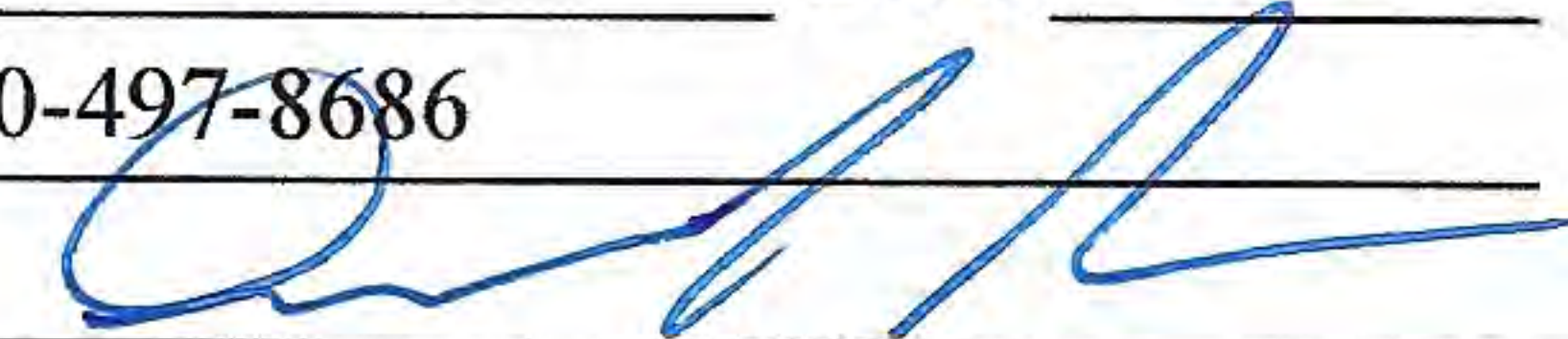


**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
REQUEST FOR ACTION**

Received: _____ Date Released to Planning Commission: _____

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APPLICANT INFORMATION AND REQUEST

APPLICANT:	Tony Perez	PROPERTY OWNER:	North Ridgeville Senior Living LLC
COMPANY NAME:	Lemmon Development	ADDRESS:	821 S. Main Street
ADDRESS:	8230 Pittsburg Ave., NW	CITY / STATE:	North Canton, OH ZIP: 44720
CITY / STATE:	North Canton, OH ZIP: 44720	PHONE NO.:	330-497-8686
PHONE NO.:	330-497-8686	SIGNATURE:	
SIGNATURE:		(Owner's original signature must be submitted with application.)	
EMAIL ADDRESS:	tperez@lemmonandlemmon.com		

Please provide an email address, fax number or mailing address to send Administrative comments in advance of the meeting.

LOCATION OF PROPERTY/ADDRESS:	Bagley Road North
PERMANENT PARCEL NO.:	0700011102154
ZONING OF PROPERTY:	SDDD-B
ZONING OF ADJACENT PROPERTY TO:	NORTH R1 EAST R1 SOUTH R-1 WEST SDDD-B
DESCRIPTION OF REQUEST:	Revision to Final Site Plan Change 89 Unit Independent Living to 26 Villa Units

Have the Planning Commission or Board of Zoning and Building Appeals considered any prior request concerning this property? Yes No

If yes, list dates and nature of each: 6-16-17 SDD-B Preliminary Plan
7-27-17 SDD-B Final Plan

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PLANNING COMMISSION USE ONLY: APPROVED DISAPPROVED

All approvals are conditional until applicant fully meets the requirements of applicable City ordinances enforced by the Chief Building Official, City Engineer, Fire Department and Police Department with respect to safety and design.

Board of Building & Zoning Appeals Approval Required
 Conditions as set forth by the Commission on this date are: _____

Date: _____ Signature: _____
(Presiding Officer at Meeting)

Return completed form to Building Dept., 7307 Avon Belden Road, North Ridgeville, Ohio, 44039 after Commission action.

TO BE FILLED OUT BY APPLICANT

I, Tony Perez
(Print Name)


(Signature)

verify that the following are the names, mailing addresses and permanent parcel numbers of the current record title owners adjacent to the property of request for:

Applicant: Lemmon Development

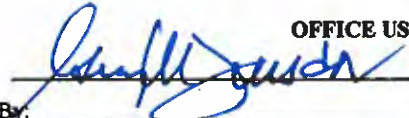
Owner: North Ridgeville Senior Living LLC

Project Address: Bagley Road, East of Lorain Road

THE FOLLOWING INFORMATION MAY BE OBTAINED AT THE LORAIN COUNTY AUDITOR'S OFFICE,
ADMINISTRATION BUILDING, 226 MIDDLE AVENUE, ELYRIA, OHIO 44035.
PHONE: 440-329-5207 WEBSITE: WWW.LORAINCOUNTY.COM/AUDITOR

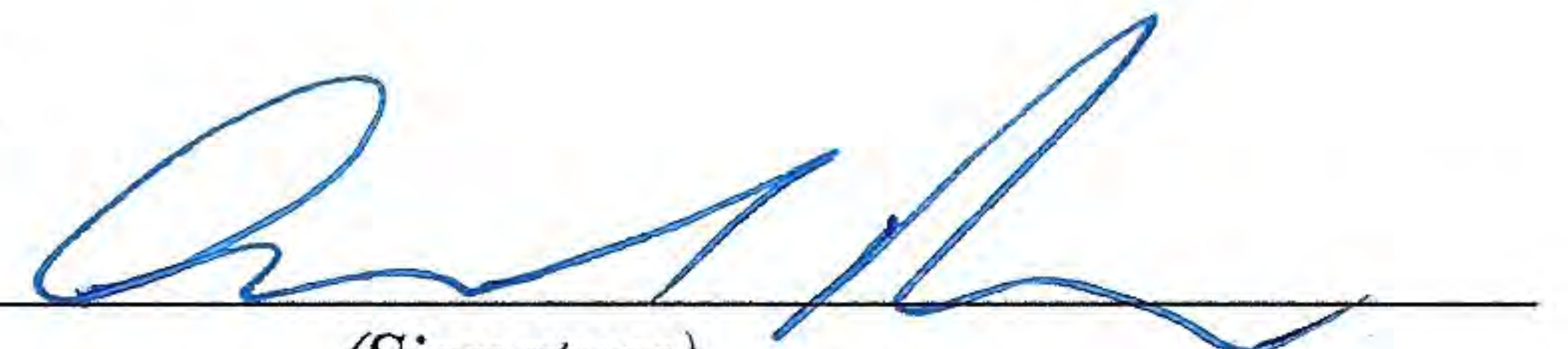
	ADJACENT PROPERTY OWNER / ADDRESS	PARCEL NUMBER
✓1	North Ridgeville Senior Living LLC 821 S. Main Street, N. Canton, OH 44720	0700011102153
✓2	Mould Development LLC 33489 Liberty Parkway, N. Ridgeville, OH 44039	0700011103084
✓3	Neiding Edith Evelyn Trustee 33335 Bagley Rd, N. Ridgeville, OH 44039	0700011103051
✓4	Douglas A. Dunham 33302 Bagley Rd, N. Ridgeville, OH 44039	0700011102005
✓5	Cypress Station Homeowner Association Inc. 6150 Park Squire Dr. Lorain, OH 44053	0700011102059
6		
7		
8		
9		
10		

SEE REVERSE SIDE FOR ADDITIONAL LISTINGS.

OFFICE USE ONLY	
CBO Verification By: 	Date / Time Stamp:
BZA / PC Verification By: _____	

TO BE FILLED OUT BY APPLICANT

I, Tony Perez
(Print Name)


(Signature)

verify that the following are the names, mailing addresses and permanent parcel numbers of the current record title owners adjacent to the property of request for:

Applicant: Lemmon Development

Owner: North Ridgeville Senior Living LLC

Project Address: Bagley Road, East of Lorain Road

THE FOLLOWING INFORMATION MAY BE OBTAINED AT THE LORAIN COUNTY AUDITOR'S OFFICE,
ADMINISTRATION BUILDING, 226 MIDDLE AVENUE, ELYRIA, OHIO 44035.
PHONE: 440-329-5207 WEBSITE: WWW.LORAINCOUNTY.COM/AUDITOR

	ADJACENT PROPERTY OWNER / ADDRESS	PARCEL NUMBER
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7		
8		
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10		

SEE REVERSE SIDE FOR ADDITIONAL LISTINGS.

OFFICE USE ONLY	
CBO Verification By: _____	Date / Time Stamp: _____
BZA / PC Verification By: _____	



J. Craig Snodgrass, CPA, CGFM

Lorain County Auditor

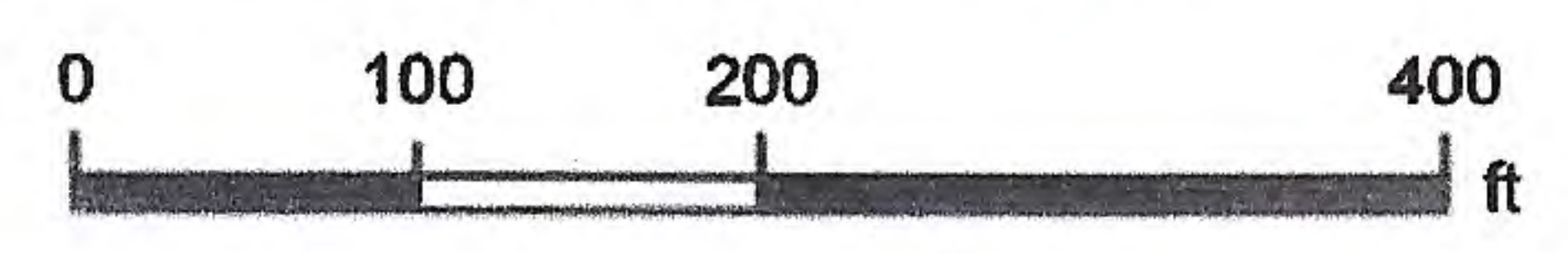
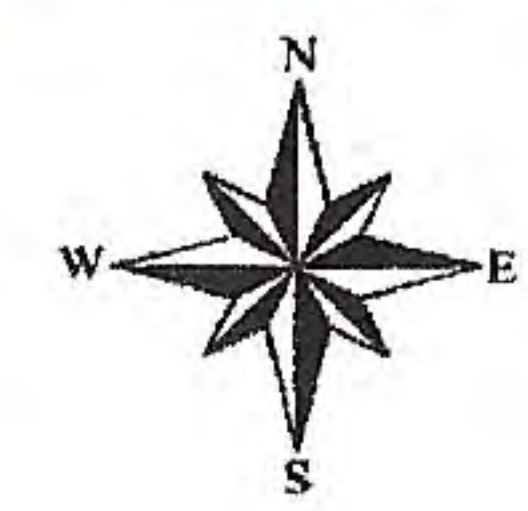


March 19, 2020 9:57:57 AM

1 inch = 188 feet

Legend

- | | | | | | | |
|--------------------|-------------|--------------------------|-------------------|--------------------------|------------------|---------------|
| Boundaries | Sublot Line | Right-of-way Dashed Line | Right-of-way Line | Right-of-way Parcel Line | Road Centerlines | Right of Ways |
| Dashed Parcel Line | Parcel Line | | | | Subdivisions/... | Parcels_Black |



SPECIAL DEVELOPMENT DISTRICT (SDD): _____
(PRELIMINARY)

Date Council approved rezoning this land to Special Development District: _____ (§1246.03)

What type of Special Development District? <i>(Choose from below)</i>			
<input type="checkbox"/> A) Suburban Commercial Corridor Area; 10 acres: §1273.17(a) and §1273.19(a)(1) <input checked="" type="checkbox"/> B) Regional Hospitality, Entertainment and Commercial Area, 10 acres: §1273.17(b) and §1273.19(a)(1) <input type="checkbox"/> C) Limited Industrial Area, 50 acres: §1273.17(c) and §1273.19(a)(3)			
	Included	Not Included	Item
1	X		Application with names of adjacent parcel owners, parcel numbers and addresses
2	X		10 copies of the preliminary plat and 10 copies of attachments that are required
3	X		Topography at 2 foot contour interval, including property lines, easements, street right-of-ways, structures, trees and landscape features existing thereon: §1273.03(a)(1)
4	X		The proposed vehicular and pedestrian traffic patterns, including the proposed location and design of public and private streets, the directional flow and location of proposed storm and sanitary sewers and sewers connecting with existing or proposed sewers outside of the development area, the proposed storm water management program, the location and design of parking and service areas and an estimate of traffic volumes to be generated, including the assignment of traffic to proposed entrances and exits: §1273.03(a)(2)
5	X		The location of all proposed uses in the development area and all structures lying outside of the boundaries of the development area, located within 200 feet thereof: §1273.03(a)(3)
6	X		Subdividers or developers of shopping centers and other commercial and industrial uses must comply with the same requirements as residential developers, with the exception of plans or written and signed statements regarding planted areas, parks and playgrounds, where applicable. Plans or written and signed statements regarding planted or open areas may be required where applicable: §1273.03(a)(5)
7	X		Drawings for subdivisions and commercial and industrial properties must have the seal of a licensed professional engineer or of a registered surveyor. Building plans should be stamped by a registered architect or a licensed professional engineer: §1273.03(c)
8	n/a		A copy of all covenants, restrictions and easements to be recorded: §1273.04
9	X		Traffic Impact study required: §1210.06 <u>Traffic Generation Rate</u> Restaurant (Peak hour trips = 150) Convenience market (Peak hour trips = 150) Convenience market and gas station (Peak hour trips = 150) Supermarket (Peak hour trips = 150) Shopping center (Peak hour trips = 150) Residential and all other use (Peak hour trips = 100)
Please note all requirements must be met for a Special Development District. The specific requirements can be found in North Ridgeville Codified Ordinance, Chapter 1273.			

If the preliminary plan is approved, the developer must submit a final plan of a phase of the development area within one year from the date of such notice. If the final plan is not received, the preliminary plan shall lapse: §1273.07.

To: City of North Ridgeville Date 3/19/2020 Job No. 50166
7307 Avon Belden Road Re: Danbury North Ridgeville
North Ridgeville, OH 44039
Attn: Guy Fursdon

We are sending you the attached following items via: UPS Standard Priority US Mail Deliver Pickup

Prints Specifications Shop Dwgs Samples Change Order Disks Other

QUANTITY	DESCRIPTION
10 sets	Set of Site Plans & Site Plan w/Aerial
10 sets	Villa Elevations & Floor Plans
1	Traffic Study
1	Request for Action Application
1	Engineering Fee Check for \$375.00
1	Building Dept. Fee Check for \$110.00

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> No exceptions taken | <input type="checkbox"/> Submit specified item |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Make corrections noted | <input type="checkbox"/> Reviewed – see attached |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Revise and resubmit | <input type="checkbox"/> Rejected |
| <input checked="" type="checkbox"/> For review and comment | | <input type="checkbox"/> Other: _____ |

REMARKS:

Signed: John Walsh, P.E., P.S.

c: File
Dave Fletcher w/copy of above
Tony Perez w/copy of above

GBC DESIGN, INC.
565 WHITE POND DR.
AKRON, OH 44320-1123
330-836-0228

09-11

6-12/410
453
CHECK ARMOR
TRADE PROTECTION

3/19/2020

PAY TO THE
ORDER OF City of North Ridgeville

\$**110.00

One Hundred Ten and 00/100*****

DOLLARS

City of North Ridgeville

MEMO



AUTHORIZED SIGNATURE

⑈05045⑈ ⑆04⑆000⑆24⑆ 4244306469⑈

Photo Safe Deposit
Details on Back.

GBC DESIGN, INC.

50451

City of North Ridgeville
610 · Misc. fees & expenses

3/19/2020
50166C Planning Commission application fee

110.00

PNC Checking

110.00

GBC DESIGN, INC. 09-11
565 WHITE POND DR.
AKRON, OH 44320-1123
330-836-0228

6-12/410
453
CHECK ARMOR
FRAUD PROTECTION

3/19/2020

PAY TO THE
ORDER OF City of North Ridgeville

\$ **375.00

DOLLARS

Three Hundred Seventy-Five and 00/100*****

City of North Ridgeville

MEMO



AUTHORIZED SIGNATURE

⑈050452⑈ ⑆041000124⑆ 4244306469⑈

50452

GBC DESIGN, INC.

City of North Ridgeville
610 Misc. fees & expenses

50166C Engineering deposit fee

3/19/2020

375.00

PNC Checking

375.00

Photo Safe Deposit
Details on Back.

**CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS**

Name of Applicant:	Tony Perez
Name of Owner:	North Ridgeville Senior Living LLC
Date Submitted for Consideration:	3-20-20
Date to Return to Planning Commission:	3-24-20
Regarding: Danbury Assisted Living Phase 2 (Villas)	

RECOMMENDATIONS:

1273.12 Progressive development. The Danbury Assisted Living Facility was approved 7-27-17. Phase 1 is now completed. Phase 2 has been modified from the original approval, by Lemmon Development and is being submitted to Planning Commission for final approval. Phase 2 was originally approved for 89 units, the final submittal now indicates 26 units, substantially less than the original plan.

1273.21 (a) Special Development Districts require 100 foot setback from streets. On 7-13-17 BZA approved 50 foot setback from streets by granting a 50 foot variance. This variance applied to both Phase 1 and Phase 2. The BZA two year expiration of the variance for the project if not started is removed since Phase 1 has been started and completed.

1273.22 Required parking, each unit has two garage parking spaces and two parking spaces in each driveway.

(use additional sheets if necessary)

Department Head Signature & Title: _____

 CBO

Form prepared by the Office of the Clerk of Council 6-30-99. Amended 12-13-2005.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter. (Planning Commission By-Laws, Article V, Section 3)

Comments received after the deadline will be distributed to the Members the night of the meeting.

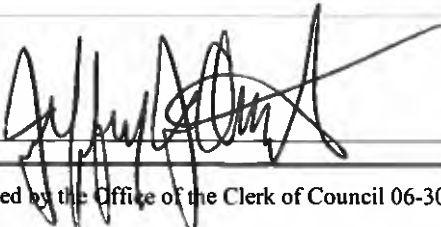
CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS

Name of Applicant:	Tony Perez; Lemmon Development 8230 Pittsburg Avenue NW, North Canton, Ohio 44720
Name of Owner:	North Ridgeville Senior Living, LLC 821 South Main Street, North Canton, Ohio 44720
Date of Planning Commission Meeting:	Tuesday, April 14, 2020
Date to Return to Deputy Clerk of Council:	Thursday, April 02, 2020
Regarding:	Preliminary approval for revisions to final site plan for Danbury Assisted Living; located on the northeast side of Bagley Road, in a Special Development District. Permanent Parcel No. 07-00-011-102-154

Recommendations:

Glad to see this project moving forward

(Use additional sheets if necessary.)

Department Head Signature:  Title: Safety-Service Director

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

Comments and recommendations by Administrative Officers, if any, shall be forwarded to the Commission Secretary not later than five (5) business days prior to the Commission meeting at which action is scheduled to be taken on the matter.
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CITY OF NORTH RIDGEVILLE PLANNING COMMISSION
RECOMMENDATIONS

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Regarding:	Preliminary approval for revisions to final site plan for Danbury Assisted Living; located on the northeast side of Bagley Road, in a Special Development District. Permanent Parcel No. 07-00-011-102-154

Recommendations:

We've worked closely with Danbury on their successful Senior Living Project and we're looking forward to this Assisted Living Project as Phase 2 of their overall plan.

(Use additional sheets if necessary.)

Department Head Signature: 

Title: Mayor

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

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Date of Planning Commission Meeting:	Tuesday, April 14, 2020
Date to Return to Deputy Clerk of Council:	Thursday, April 02, 2020
Regarding:	Preliminary approval for revised plan for Danbury Assisted Living; located on the northeast side of Bagley Road, in a Special Development District. Preliminary Approval: July 11, 2017 Final Approval: August 8, 2017 Permanent Parcel No. 07-00-011-102-154

Recommendations:

1. Complete detailed improvement plans, stormwater management, and water quality calculations need to be submitted to the Engineering Department for review and approval.

(Use additional sheets if necessary.)

Department Head Signature:  **Title:** City Engineer

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

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Recommendations:

No comments at this time.

(Use additional sheets if necessary.)

Department Head Signature: Mike Uhnak _____ **Title:** Assistant Fire Chief

Form prepared by the Office of the Clerk of Council 06-30-1999. Amended 05-30-2019.

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Memorandum

to: James Smolik, Chair, North Ridgeville Planning Commission

from: David Hartt

subject: *Review of REVISED Preliminary Plan – Danbury North Ridgeville (Independent Living and Assisted Living)*

date: April 7, 2020

Pursuant to the City’s request, I am summarizing herein my review of the revised Preliminary Plan for the Danbury North Ridgeville Development, an assisted living and independent living development, in the Special Development District B at the northeast intersection of Bagley and Lorain Roads. This review is based on the application and drawings by GBC Design Inc. received by the City on March 20, 2020 (21 pages) and is undertaken within the scope as set forth in Section 1210.05 CITY PLANNER REVIEW of the Planning and Zoning Code that confines the review to:

“...how the development will impact current and future development in the area and the City as a whole, and as compared to the City Master Plan...and how the development might possibly be modified to reduce impact and conform to the overall development of the City.”

This proposal is a revision to the Plans approved in July 2017. The approved plan called for two buildings – an assisted living building (which has been constructed) and an independent living building (not constructed). This revision reduces the independent units from 89 to 26 and reconfigures these units into attached side-by-side villas rather than the greater (former) number of units being in a multiple story “apartment” style building.

The current SDD zoning permits a variety of business (both retail and office) uses. Moreover, by designating this property as a Special Business District in the 2009 City Master Plan, the City further confirmed that non-residential development – at the intensity of development permitted (both uses permitted and development standards) - was the City’s established public policy for this property and that the impacts from such development would be acceptable in the area. I stated in my July 26, 2017 report that since:

“...the proposed uses will generate far less “commotion” on the site and on the surrounding streets than many of the uses that are explicitly permitted in the SDD, it is certainly appropriate for the Planning Commission – as it did in 2007 and 2015 – to consider this use as “compatible and complementary” (Section 1273.17) to those uses that are expressly listed. Furthermore, the pattern of zoning and development, existing and anticipated, has not materially altered over the years.”

These observations continue to be valid. When compared to the City’s policy, including both the zoning and the Master Plan, this revised proposal further reduces the development intensity and “commotion” and, therefore, will have even less impact than the future development envisioned on the site, in the area, and previously approved.

Lastly, this opinion is with the understanding that there have been no material changes in the regulations or in public policy that would justify the Planning Commission deviating from its earlier positions.

If you have any questions or require any additional information, please feel free to contact me.



TMS Engineers, Inc.

Transportation Management Services

2112 Case Parkway South, #7 • Twinsburg, Ohio 44087

www.TMSEngineers.com

June 12, 2017

Mr. John Walsh, P.E., P.S.
GBC Design, Inc.
565 White Pond Drive
Akron, Ohio 44320

**Re: Danbury Development
North Ridgeville, Ohio
Trip Generation Analysis**

TMS Engineers, Inc. has performed the following trip generation analysis for the proposed Assisted Living and Congregate Care Facility that will be located on the northeast corner of the Lorain Road and Bagley Road intersection in the City of North Ridgeville, Ohio (see **Location Map, Figure 1**). The purpose of this trip generation analysis is to estimate the traffic generated by the completion of the proposed Assisted Living / Independent Living facility. The analysis was completed based on the number of anticipated beds at the site. The site plan can be seen in **Figure 2**. The following are the results of our trip generation analysis.

Trip Generation

The calculation of future traffic requires an estimate of traffic the development will generate after construction. The most widely accepted method of determining the amount of traffic that a proposed development will generate is to compare the proposed site with existing facilities of the same use. This estimate is typically expressed as a trip rate. In order to estimate traffic for the proposed development, a trip rate was calculated using data and procedures found in the Institute of Transportation Engineers (ITE) "**Trip Generation**" **Manual, Ninth Edition**. For the proposed Assisted Living / Independent Living facility, the trip rates were calculated using the total number of beds being constructed for the facility. Based on discussions with the architect, the site is expected to have 134 assisted living beds and 71 independent living beds. The land use Congregate Care Facility was used for the independence living portion of the site since it most closely matches this portion of the development. A copy of the trip generation worksheets can be seen in the attached **Figures 3 and 4**.

Proposed Assisted Living and Congregate Care Facility

The table on the following page shows the estimated generated traffic during the AM and PM peak hour for the proposed Assisted Living / Independent Living facility based upon the national averages considering the total number of beds in the development and the trip generation analysis described on the previous page.

ITE TRIP GENERATION		Beds	TRIP ENDS			
ITE Code	Description		Weekday Peak Hour Between 7-9 AM (Enter/Exit)		Weekday Peak Hour Between 4-6 PM(Enter/Exit)	
253	Congregate Care Facility	71	2	2	12	7
254	Assisted Living	134	7	5	13	17
Total New Trips			16		49	

The previous table shows that the proposed assisted living and congregate care facility is expected to generate a total of 16 trips in the AM peak hour and 49 trips in the PM peak hour. It is our opinion that, when the anticipated changes in traffic volumes are at these levels, the traffic generated by the proposed development should not have an impact on the surrounding street network system.

This opinion is based upon the fact that traffic impact studies are recommended to be performed by the **Institute of Transportation Engineers** whenever an increase in trips in any peak hour is greater than 100 trips per hour. This recommendation is made because this is the point where a change in roadway capacity may be found and mitigation may or may not be needed. The anticipated levels of volume from this development are less than daily variations in the current volumes on Lorain Road and Bagley Road should not be perceived by the traveling public.

The Ohio Department of Transportation concedes that traffic impact studies are only necessary when the resulting trip increase is more than 100 trips per hour. This is stated in their **State Highway Access Management Manual**. Since this development is expected to generate less than 100 new trips during either the AM and PM peak hours, it is our professional opinion that the change in the amount of generated traffic will **not** have an impact on the surrounding roadway network nor require a full traffic impact study.

Mr. John Walsh, P.E., P.S.
June 12, 2017
Page 3

If you have any questions or need additional information, please do not hesitate to contact me.

Very truly yours,

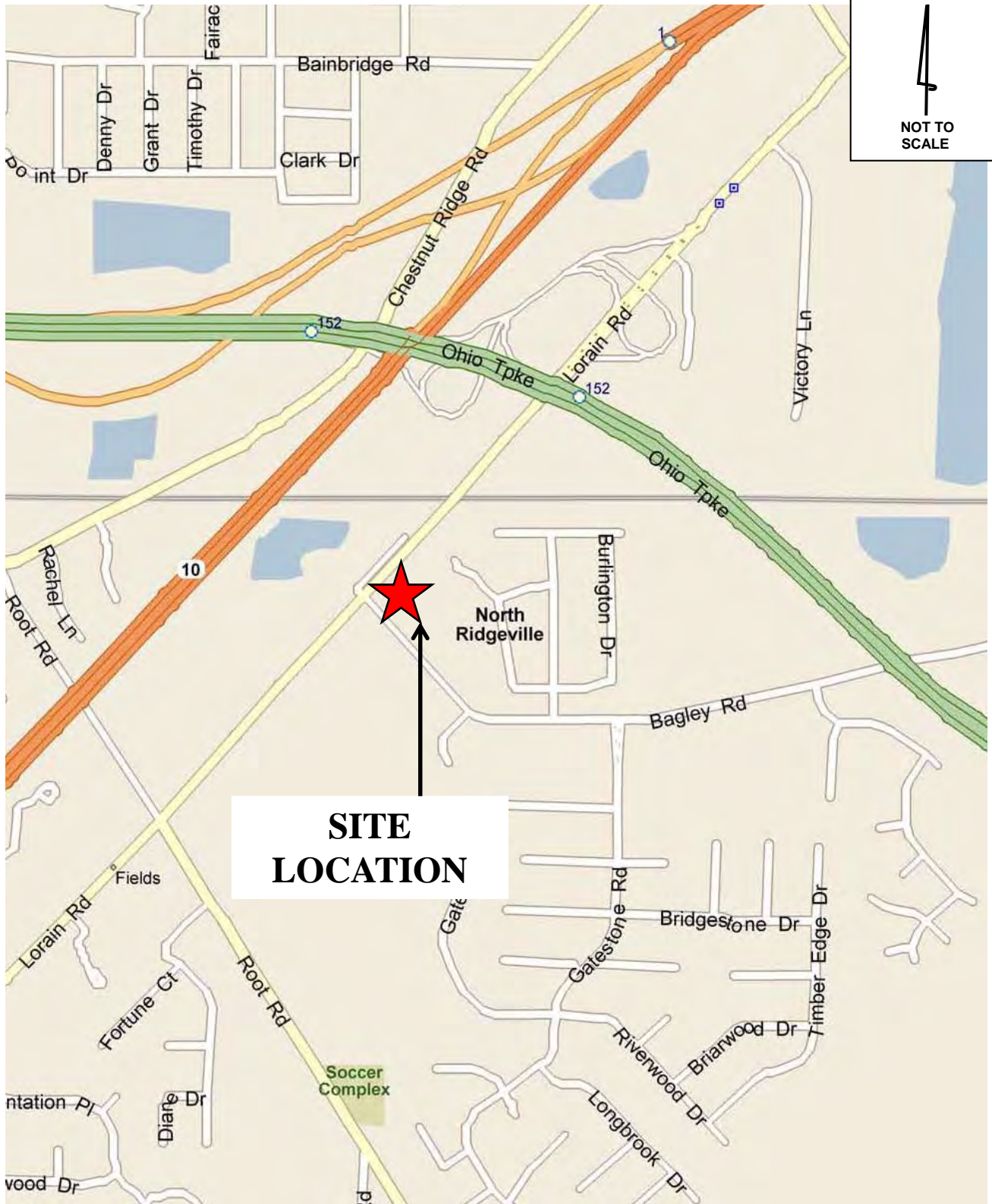
TMS Engineers, Inc.

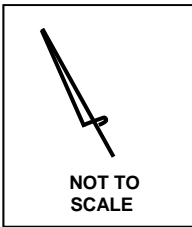
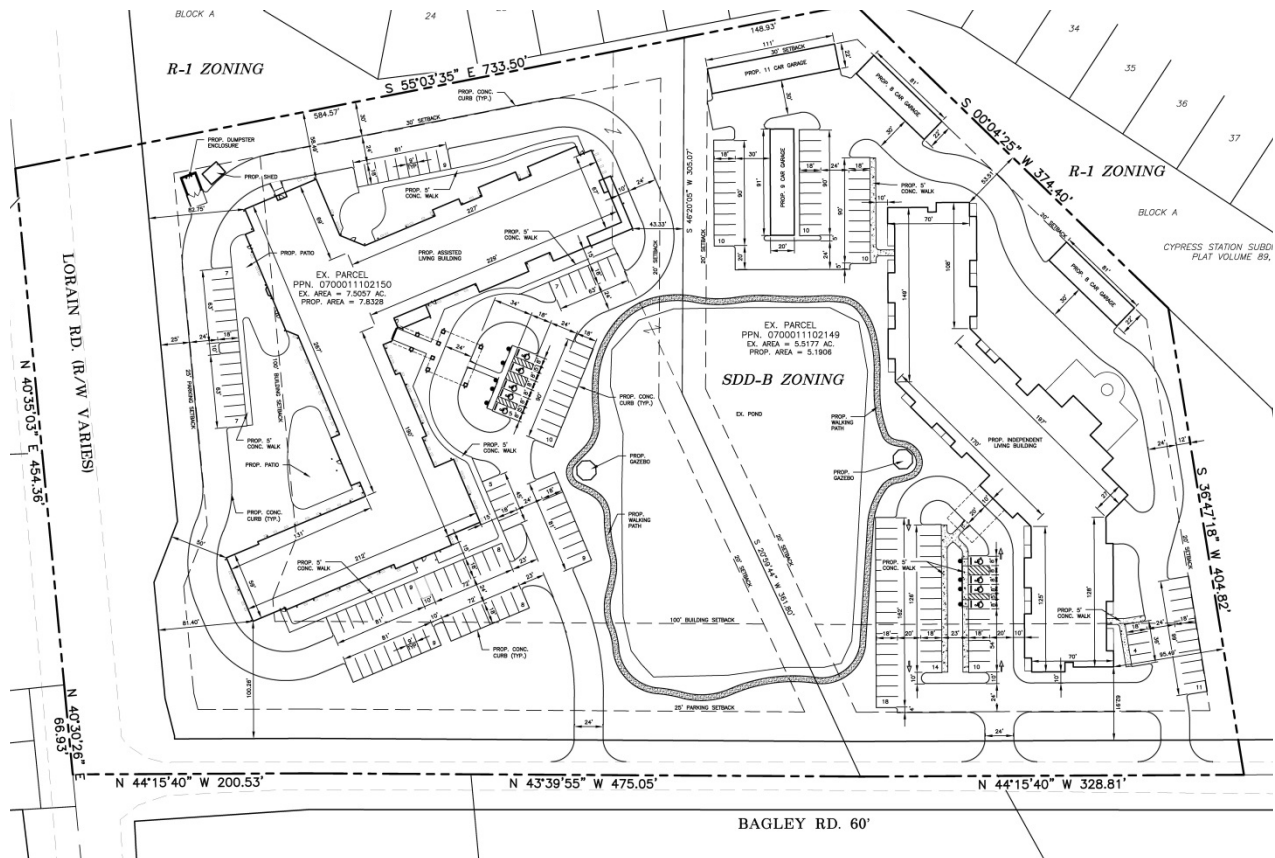


Andrew Pierson, P.E.
Senior Traffic Engineer



attachments





CONGREGATE CARE FACILITY
ITE CODE = 253

Date:

Trip Generation based on:

Size of Analysis Area: Units

	Average Rate	Standard Deviation	Adjustment factor	Driveway Volume
Average Weekday 2-way Volume	2.01	0.00	1.00	143
7-9 AM Peak Hour Enter	0.03	0.00	1.00	2
7-9 AM Peak Hour Exit	0.03	0.00	1.00	2
7-9 AM Peak Hour Total	0.06	0.00	1.00	4
4-6 PM Peak Hour Enter	0.10	0.00	1.00	7
4-6 PM Peak Hour Exit	0.07	0.00	1.00	5
4-6 PM Peak Hour Total	0.17	0.00	1.00	12

Average Weekday 2-way Volume

7-9 AM Peak Hour Total

Enter 0.59
Exit 0.41

4-6 PM Peak Hour Total

Enter 0.55
Exit 0.45

Source: Institute of Transportation Engineers
Trip Generation, 9th Edition, 2012.



TMS Engineers, Inc.

Transportation Management Services
2112 Case Parkway S., Unit 7, Twinsburg, Ohio 44087
www.TMSEngineers.com

**Danbury Development
North Ridgeville, Ohio
Trip Generation Analysis**

**Trip Generation
Calculations**

Figure 3

Attachment

ASSISTED LIVING
ITE CODE = 254

Date:

Trip Generation based on:

Size of Analysis Area: Beds

	Average Rate	Standard Deviation	Adjustment factor	Driveway Volume
Average Weekday 2-way Volume	2.50	0.00	1.00	335
7-9 AM Peak Hour Enter	0.09	0.00	1.00	12
7-9 AM Peak Hour Exit	0.05	0.00	1.00	7
7-9 AM Peak Hour Total	0.14	0.00	1.00	19
4-6 PM Peak Hour Enter	0.10	0.00	1.00	13
4-6 PM Peak Hour Exit	0.13	0.00	1.00	17
4-6 PM Peak Hour Total	0.22	0.00	1.00	30

Average Weekday 2-way Volume

7-9 AM Peak Hour Total

Enter 0.65
Exit 0.35

4-6 PM Peak Hour Total

Enter 0.44
Exit 0.56

Source: Institute of Transportation Engineers
Trip Generation, 9th Edition, 2012.



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**Danbury Development
North Ridgeville, Ohio
Trip Generation Analysis**

**Trip Generation
Calculations**

Figure 4

Attachment

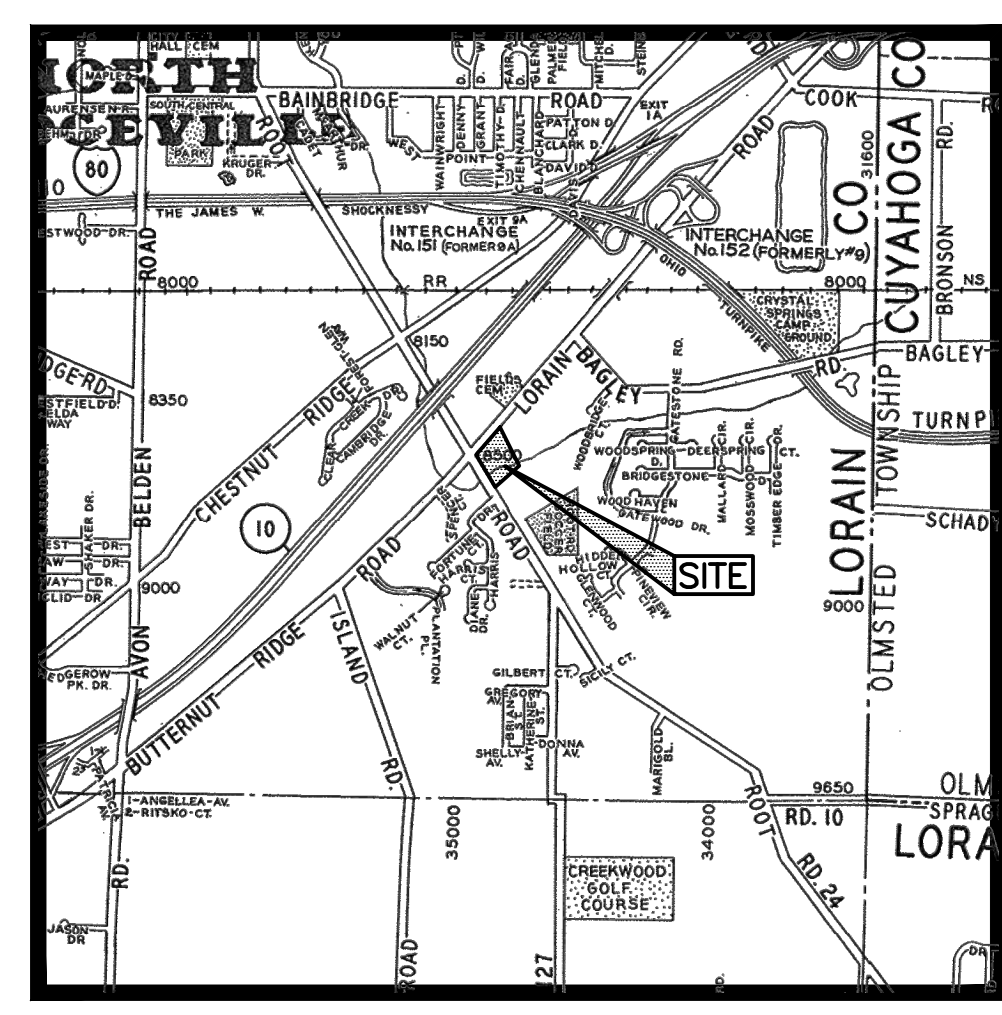
SITE DATA

PARKING (AL)	
REGULAR PARKING SPACES	= 88
ACCESSIBLE PARKING SPACES	= 5
TOTAL PARKING	= 93
PARKING (VILLA)	
REGULAR PARKING SPACES	= 104
ACCESSIBLE PARKING SPACES	= 5
TOTAL PARKING	= 109

ZONING

SDD-B (SPECIAL DEVELOPMENT DISTRICT B)

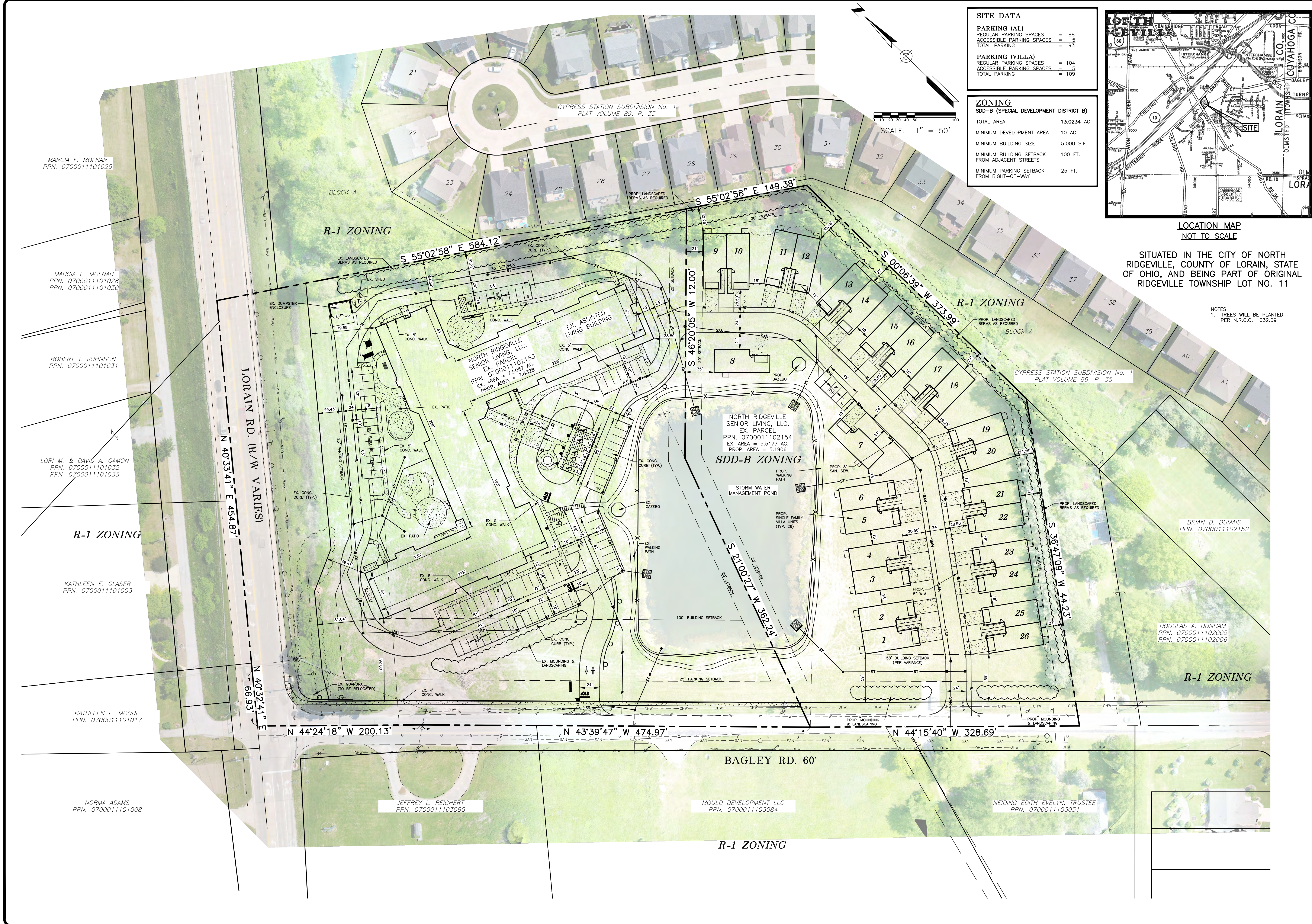
TOTAL AREA	13.0234 AC.
MINIMUM DEVELOPMENT AREA	10 AC.
MINIMUM BUILDING SIZE	5,000 S.F.
MINIMUM BUILDING SETBACK FROM ADJACENT STREETS	100 FT.
MINIMUM PARKING SETBACK FROM RIGHT-OF-WAY	25 FT.



LOCATION MAP NOT TO SCALE

SITUATED IN THE CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO, AND BEING PART OF ORIGINAL RIDGEVILLE TOWNSHIP LOT NO. 11

NOTES:
1. TREES WILL BE PLANTED PER N.R.C.O. 1032.09



MARCIA F. MOLNAR
PPN. 0700011101025

MARCIA F. MOLNAR
PPN. 0700011101028
PPN. 0700011101030

ROBERT T. JOHNSON
PPN. 0700011101031

LORI M. & DAVID A. GAMON
PPN. 0700011101032
PPN. 0700011101033

R-1 ZONING

KATHLEEN E. GLASER
PPN. 0700011101003

KATHLEEN E. MOORE
PPN. 0700011101017

NORMA ADAMS
PPN. 0700011101008

JEFFREY L. REICHERT
PPN. 0700011103085

MOULD DEVELOPMENT LLC
PPN. 0700011103084

NEIDING EDITH EVELYN, TRUSTEE
PPN. 0700011103051

GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320
Phone 330-886-0228
Fax 330-886-5782

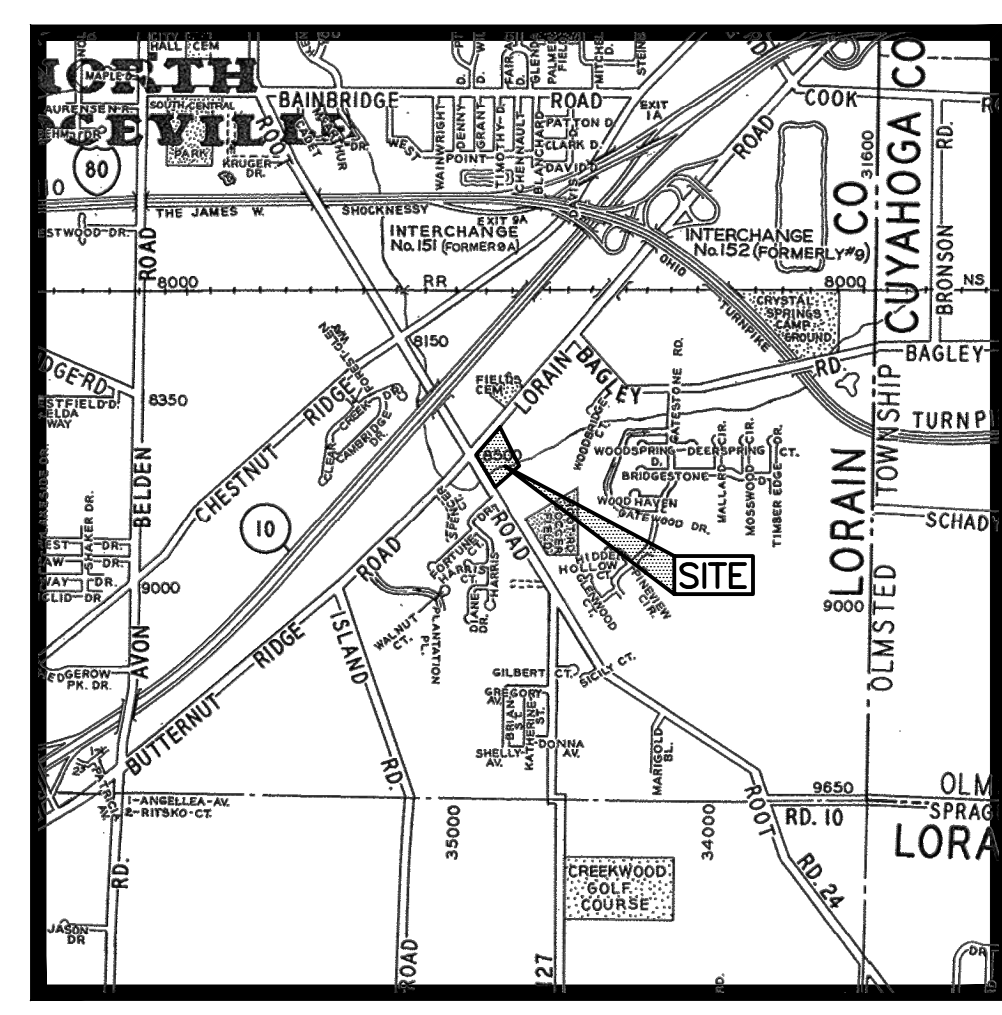
LEMMON DEVELOPMENT
8230 PITTSBURG AVE. NW
NORTH CANTON, OH 44720

DANBURY NORTH RIDGEVILLE
BAGLEY RD. & LORAIN RD.
NORTH RIDGEVILLE, OHIO
VILLA SITE PLAN
(PRELIMINARY PLANNING COMMISSION SUBMITTAL)

DRAWN BY:
J.D.D.
DATE:
MARCH 19, 2020
PROJECT NO.
50166C
DRAWING NO.
1 OF 1

SITE DATA	
PARKING (AL)	
REGULAR PARKING SPACES	= 88
ACCESSIBLE PARKING SPACES	= 5
TOTAL PARKING	= 93
PARKING (VILLA)	
REGULAR PARKING SPACES	= 104
ACCESSIBLE PARKING SPACES	= 5
TOTAL PARKING	= 109

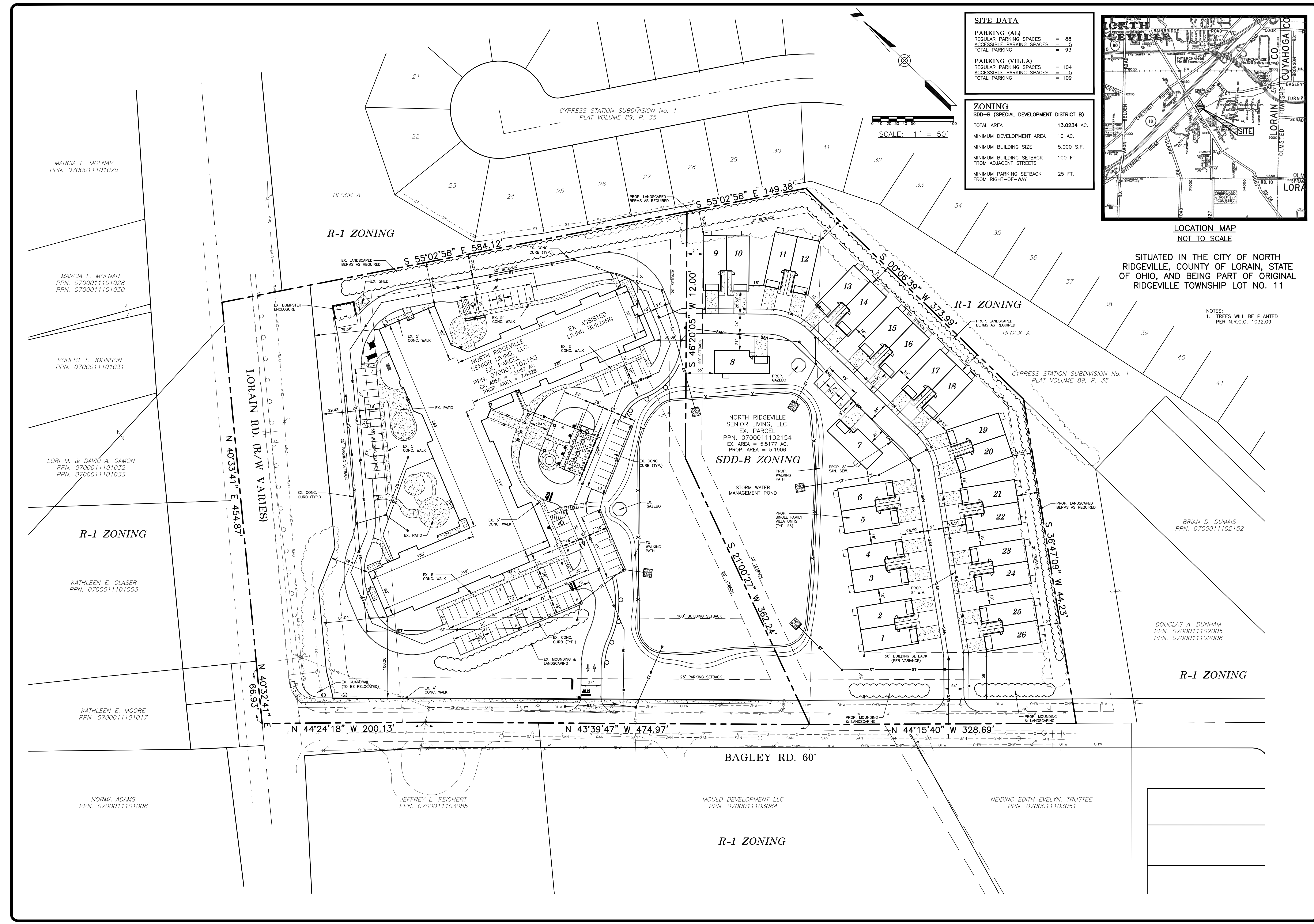
ZONING	
SDD-B (SPECIAL DEVELOPMENT DISTRICT B)	
TOTAL AREA	13.0234 AC.
MINIMUM DEVELOPMENT AREA	10 AC.
MINIMUM BUILDING SIZE	5,000 S.F.
MINIMUM BUILDING SETBACK FROM ADJACENT STREETS	100 FT.
MINIMUM PARKING SETBACK FROM RIGHT-OF-WAY	25 FT.



LOCATION MAP NOT TO SCALE

SITUATED IN THE CITY OF NORTH RIDGEVILLE, COUNTY OF LORAIN, STATE OF OHIO, AND BEING PART OF ORIGINAL RIDGEVILLE TOWNSHIP LOT NO. 11

NOTES:
1. TREES WILL BE PLANTED PER N.R.C.O. 1032.09



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JEFFREY L. REICHERT
PPN. 0700011103085

MOULD DEVELOPMENT LLC
PPN. 0700011103084

NEIDING EDITH EVELYN, TRUSTEE
PPN. 0700011103051

NORTH RIDGEVILLE SENIOR LIVING, LLC.
EX. PARCEL
PPN. 0700011102154
EX. AREA = 5,5177 AC.
PROP. AREA = 5,1906
SDD-B ZONING

NORTH RIDGEVILLE SENIOR LIVING, LLC.
EX. PARCEL
PPN. 0700011102153
EX. AREA = 7,5957 AC.
PROP. AREA = 7,8328

BRIAN D. DUMAIS
PPN. 0700011102152

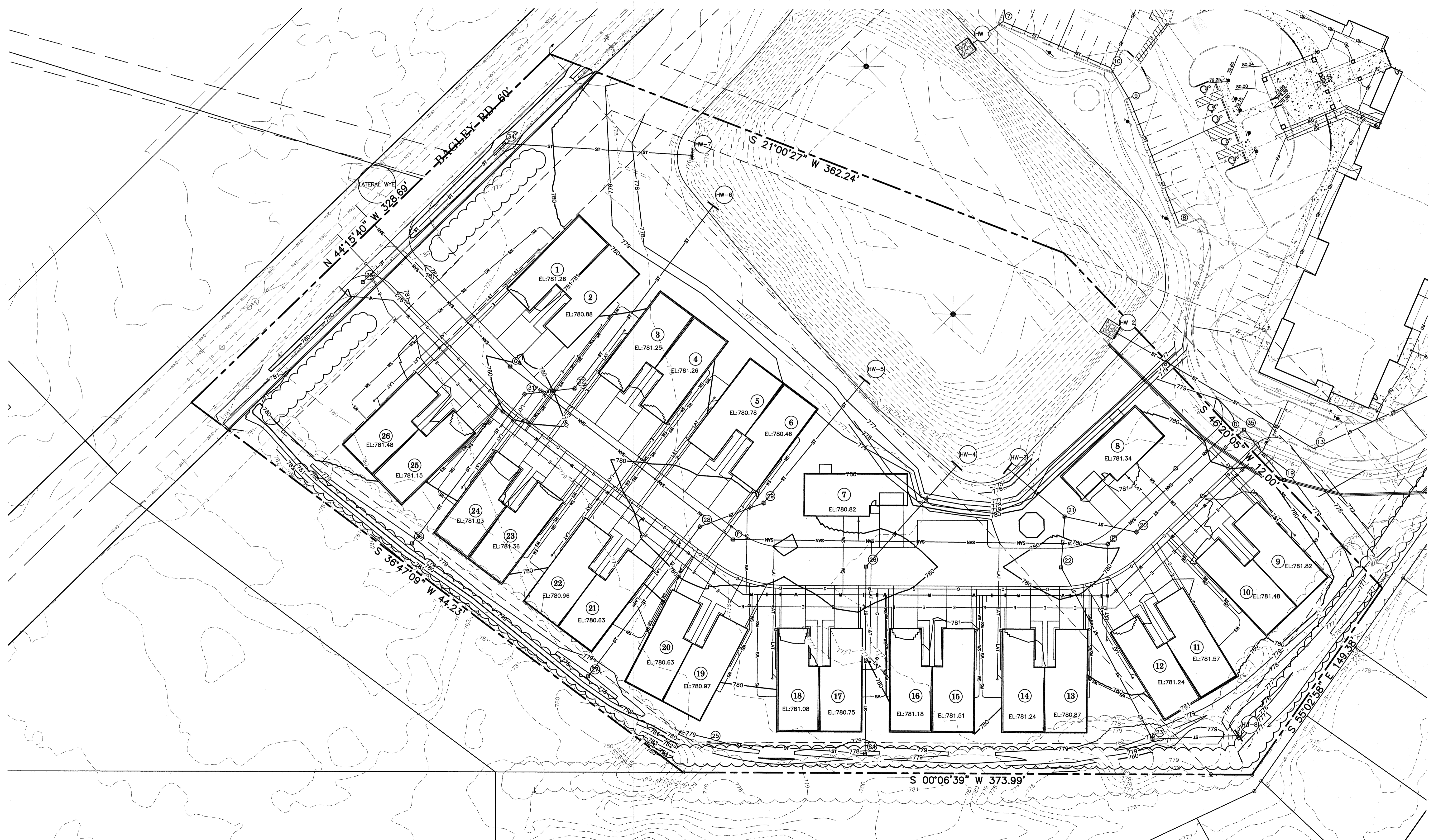
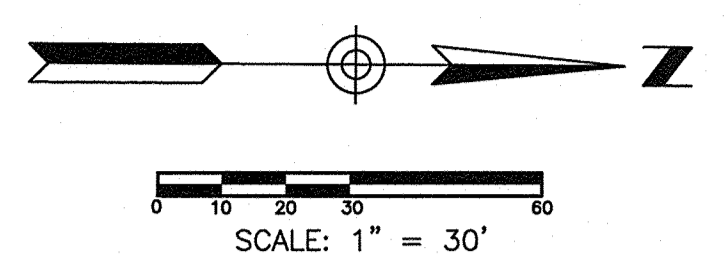
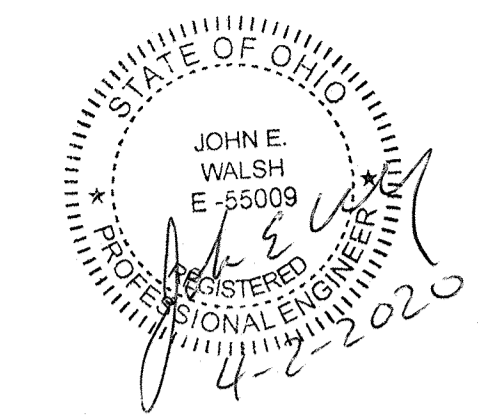
DOUGLAS A. DUNHAM
PPN. 0700011102005
PPN. 0700011102006

GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320
Phone 800-886-0228
Fax 800-886-5782

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8230 PITTSBURG AVE. NW
NORTH CANTON, OH 44720

DANBURY NORTH RIDGEVILLE
BAGLEY RD. & LORAIN RD.
NORTH RIDGEVILLE, OHIO
VILLA SITE PLAN
(PRELIMINARY PLANNING COMMISSION SUBMITTAL)

DRAWN BY:
J.D.D.
DATE:
MARCH 19, 2020
PROJECT NO.
50166C
DRAWING NO.
1 OF 1



GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320
Phone 330-586-0225
Fax 330-586-9782

LEMMON DEVELOPMENT, LLC.
1201 S. MAIN ST.
NORTH CANTON, OH 44720

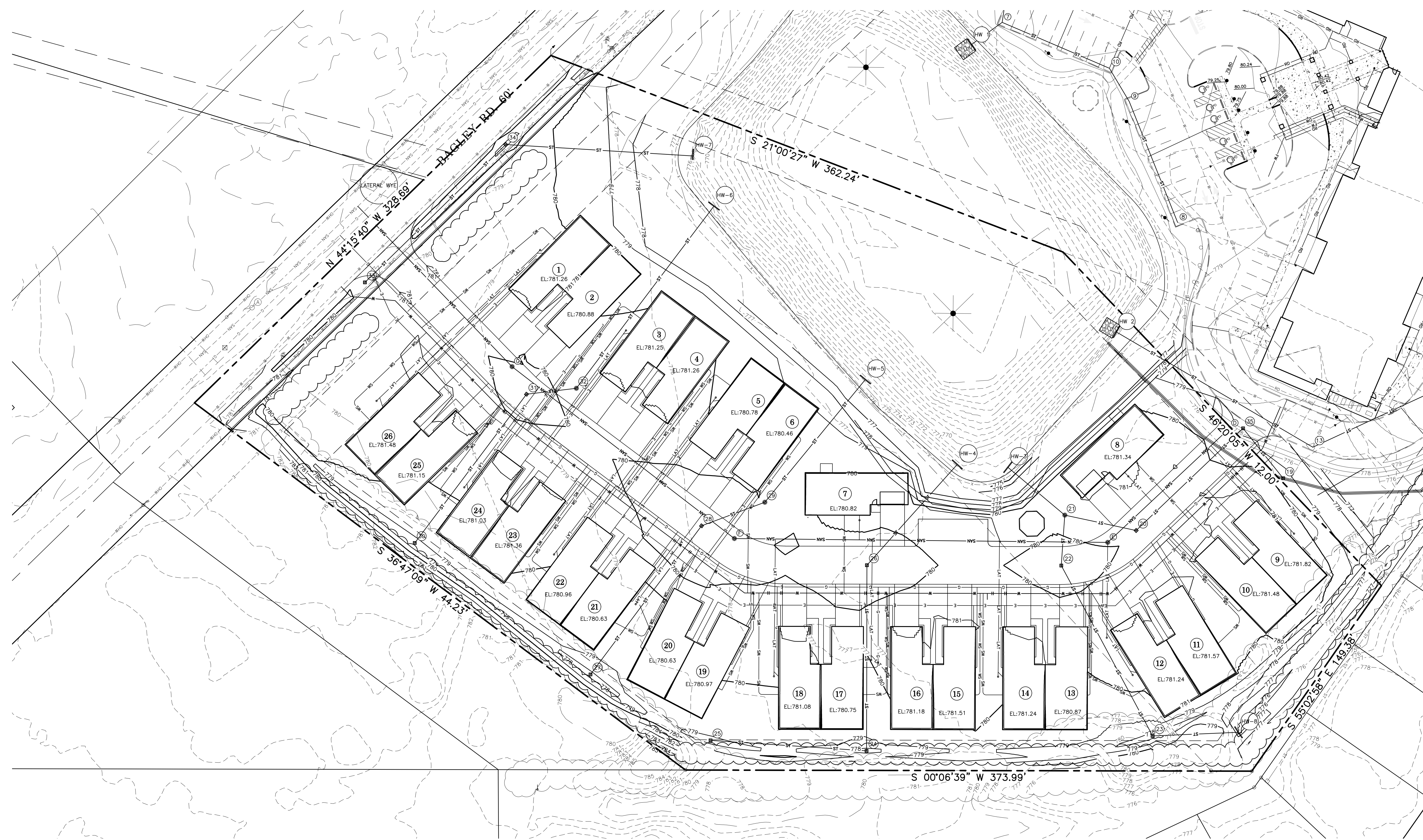
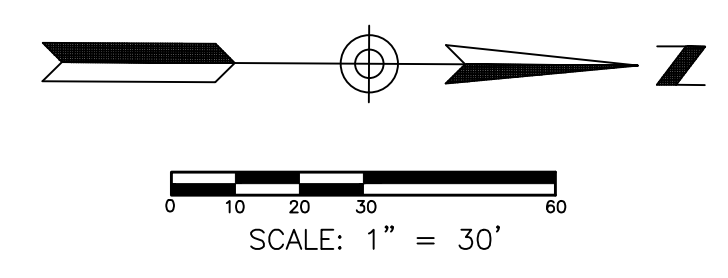
DANBURY NORTH RIDGEVILLE
BAGLEY RD. & LORAIN RD.
NORTH RIDGEVILLE, OHIO
VILLA GRADING PLAN
(PLANNING COMMISSION SUBMITTAL)

DRAWN BY:
M.R.F.

DATE:
APR. 02, 2020

PROJECT NO.
50166C

DRAWING NO.



GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320
Phone 330-896-0228 Fax 330-896-5782

LEMMON DEVELOPMENT, LLC.
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(PLANNING COMMISSION SUBMITTAL)

DRAWN BY:
M.R.F.

DATE:
APR. 02, 2020

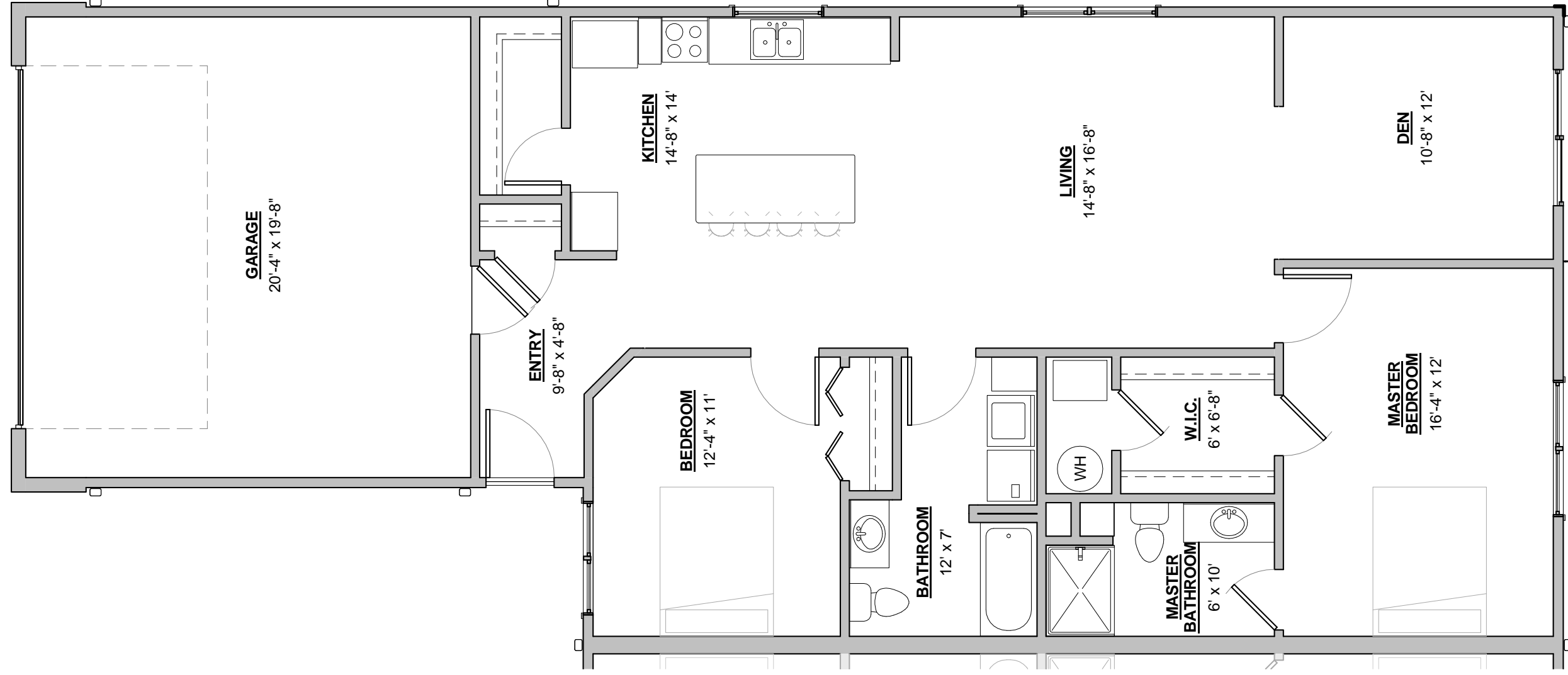
PROJECT NO.
50166C

DRAWING NO.
1 OF 1



VILLA A FRONT ELEVATION

3/16" = 1'-0"



GARAGE
20'-4" x 19'-8"

ENTRY
9'-8" x 4'-8"

KITCHEN
14'-8" x 14'

BEDROOM
12'-4" x 11'

BATHROOM
12' x 7'

LIVING
14'-8" x 16'-8"

MASTER BATHROOM
6' x 10'

W.I.C.
6' x 6'-8"

DEN
10'-8" x 12'

MASTER BEDROOM
16'-4" x 12'

FINISHED AREA = 1,308 SQ. FT.
GARAGE AREA = 428 SQ. FT.

VILLA A - 1ST FLOOR PLAN

3/16" = 1'-0"