

## **SUBMITTAL REQUIREMENTS**

A permit is required to install a new garage or outbuilding or to replace or modify an existing one. Include with your permit application the following additional information:

- A plot plan showing the location of the structure on the property, including lot lines, setbacks and drainage.
- Structural drawings. Options accepted include architectural drawings, manufacturer's structural drawings, or fill in and modify the attached example drawings.
- Materials proposed, showing spacing, height, depth, etc. It is acceptable to submit a material list showing all material used, including exterior materials.
- Estimated cost of construction.
- Name of contractor, if applicable. Note: All contractors must be registered with the City.

## **REVIEW PROCESS**

Allow at least three weeks for processing of your application. In addition to Building Division review, the Engineering Division will review for any easements or impediments to drainage. The applicant will be notified when plan review is complete and the permit is ready for pick up.

## **SPECIFICATIONS**

- All garages and outbuildings must comply with applicable Ohio building codes and local zoning ordinances.
- Post frame outbuildings must be designed and constructed per 2019 RCO Section 328.
- Buildings of light frame construction less than 600 square feet with eave height of 10 feet or less may be slab on grade or conventional foundation, buildings over 600 square feet must have a conventional foundation 36 inches deep per code.
- Each dwelling may have both a private detached garage and an outbuilding.
- Garages and outbuildings are permitted in the rear yard. Outbuildings must be set back a minimum of 5 feet from any side or rear property line and a minimum of 10 feet from any other structure. Note: On corner lots, both street frontages are treated as front yards.
- Outbuildings may be no larger than 26 feet by 26 feet or a total of 676 square feet. No outbuilding shall be more than one story tall or 15 feet in height.
- For lots greater than one-half acre, the number or size of outbuildings are not regulated; however, height cannot exceed 35 feet and total lot coverage cannot exceed 10 percent.
- No structures may be constructed in easements. Do not change the grade.

## **FEES AND INSPECTIONS**

- See fees listed on Residential Building Permit Fees page (website or handout). Every project will be charged the base fee, State BBS fee and administration fee. Electrical, plumbing and HVAC fees may be charged if applicable.
- A list of required inspections will be provided with the permit. A minimum 24-hour notice is required to schedule inspections.

# Residential Application for Plan Approval

## BUILDING DIVISION



### GENERAL INFORMATION

Construction site address

Permanent parcel number

Contractor

Contractor address

Contractor phone

Contractor email

Property owner

Property owner address

Property owner phone

Property owner email

### NEW CONSTRUCTION

**DWELLING TYPE:** ☐ Single Family ☐ Two Family Energy Code Compliance Method: \_\_\_\_\_

**SQUARE FOOTAGE:** Fin. Basement: \_\_\_\_\_ 1st Fl: \_\_\_\_\_  
2nd Fl: \_\_\_\_\_ Total: \_\_\_\_\_

**GARAGE:** ☐ Attached Garage ☐ Detached Garage ☐ Storage Building  
Size: Width: \_\_\_\_\_ Depth: \_\_\_\_\_ Sq ft: \_\_\_\_\_

**SUBDIVISION:** Sublot #: \_\_\_\_\_ Subdivision Name: \_\_\_\_\_  
Zoning Dist.: \_\_\_\_\_ Water Permit #: \_\_\_\_\_

### ADDITIONS & ALTERATIONS

Year Dwelling Built: \_\_\_\_\_ Additional Sq Ft: \_\_\_\_\_

☐ Dwelling Addition ☐ Garage Addition ☐ Storage Building Addition  
☐ Kitchen Remodel ☐ Basement Remodel ☐ Other: \_\_\_\_\_

### GENERAL PERMITS

☐ Re-Siding ☐ Re-Roofing ☐ Fire Damage Repair ☐ 2nd Water Meter  
☐ Demolition ☐ Above Ground Pool ☐ In Ground Pool ☐ Lawn Sprinkler  
☐ Gazebo ☐ Other: \_\_\_\_\_  
☐ Fence Style: \_\_\_\_\_ Height: \_\_\_\_\_ Length: \_\_\_\_\_  
☐ Deck Size: \_\_\_\_\_ Sq Ft: \_\_\_\_\_

### SUBCONTRACTORS

All contractors performing work related to this permit must be registered and approved by the Building Division for the current year.

#### SUBTRADE

#### CONTRACTOR NAME

Masonry \_\_\_\_\_  
Carpentry \_\_\_\_\_  
Plumbing \_\_\_\_\_  
Electrical \_\_\_\_\_  
HVAC \_\_\_\_\_  
Drywall \_\_\_\_\_  
Excavator \_\_\_\_\_  
Pool Erector \_\_\_\_\_  
Landscaper \_\_\_\_\_  
Other \_\_\_\_\_

#### PERMIT FEES

To be calculated by Building Div.

PERMIT: \_\_\_\_\_

STATE 1%: \_\_\_\_\_

ADMIN: \_\_\_\_\_

TOTAL: \_\_\_\_\_

# Residential Application for Plan Approval

**BUILDING DIVISION**



## HVAC

<b>Furnace:</b> <input type="checkbox"/> New <input type="checkbox"/> Replacement <b>Furnace Capacity:</b> _____ BTU's <b>Furnace Fuel Type:</b> <input type="checkbox"/> Natural Gas <input type="checkbox"/> L.P. Gas <input type="checkbox"/> Electric <input type="checkbox"/> Other: _____ <b>Ductwork Type:</b> _____	<b>A/C:</b> <input type="checkbox"/> New <input type="checkbox"/> Replacement <b>A/C Capacity:</b> _____ Tons <b>Condensing Unit Location:</b> <input type="checkbox"/> Rear yard <input type="checkbox"/> Left side yard <input type="checkbox"/> Right side yard	<b>Fireplace:</b> <input type="checkbox"/> New <input type="checkbox"/> Replacement <b>Fuel Type:</b> <input type="checkbox"/> Natural Gas <input type="checkbox"/> L.P. Gas <input type="checkbox"/> Electric <input type="checkbox"/> Other: _____
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Gas Meter Location: ☐ Front yard ☐ Rear yard ☐ Left side yard ☐ Right side yard

## PLUMBING

☐ New ☐ Alteration ☐ Replacement ☐ Service Line

Water Distribution System: ☐ Copper ☐ Pex ☐ PVC / CPVC

**Indicate fixture count below:**

# of Sinks	
# of Toilets	
# of Tubs/Showers	
# of water connected appliances	

Building Main Drain size: \_\_\_\_\_  
 Building Water Service size: \_\_\_\_\_  
 Water Heater Fuel Type: ☐ Natural Gas ☐ L.P. Gas  
☐ Electric ☐ Other: \_\_\_\_\_  
 Water Heater Capacity: \_\_\_\_\_ BTUs

## ELECTRICAL

☐ New ☐ Alteration/Addition ☐ Service Change

Grounding Electrodes to be used: ☐ Ground Rod s ☐ CEE/UFER ☐ Water line Service Amps: \_\_\_\_\_

**Indicate load wattages & amperages for each item applicable below:**

First 10,000VA at 100% remainder at 40%. Small appliance and laundry circuit loads 1500VA. Stationary appliance minimum 5000VA.

Description of Equipment	# of Units	Equipment Loads	Description of Equipment	# of Units	Equipment Loads
(Ex. Oven, Clothes Dryer, Furnace, AC etc...)	(Ex.1)	(Ex. 12000VA)			

**Total Load Calculation:** wattage divided by 240 =

**Additional information may be required for final approval of electrical systems.**

The following information must be clearly identified on the construction drawings: furnace location, water heater location, vent termination for dryer, furnace & water heater, water meter location.

Est. Cost of Construction: \_\_\_\_\_ Sidewalk Ordinance Received Date: \_\_\_\_\_

Property Owner's Signature: \_\_\_\_\_ Date \_\_\_\_\_

Applicant's Signature: \_\_\_\_\_ Date \_\_\_\_\_

## APPLICATION AUTHORIZATION

Building Division Approval

Date

**ELECTRICAL LOAD CALCULATIONS**

Please complete the following and return to the Building Division with the application.

CONSTRUCTION SITE ADDRESS: \_\_\_\_\_

**Construction Type:** ☐ Commercial ☐ Residential

1. For what will the building be used? (Storage, Workshop, Gym, Etc.) \_\_\_\_\_
2. Will electrical be installed in the building? (if NO, no additional information is needed) ☐ Yes ☐ No
3. Will a sub-panel be installed in the building? (if NO skip to #4) ☐ Yes ☐ No
  - 3a. What will be the sub-panel size / rating (example: 100 amp.) \_\_\_\_\_
4. List the electrical equipment loads on the **load calculation table** below.
5. How many circuits will be installed? (minimum of 2) \_\_\_\_\_
6. What will be the means of disconnect? \_\_\_\_\_
7. How will the electrical be run from the main house panel? - Conduit? (fill in questions 8 - 12)  
- Direct burial? (fill in question 13)
8. Conduit type? Rigid Metal (RMC) Intermediate Metal (IMC) Non-metallic conduit (PVC)
9. What size conduit is being used? \_\_\_\_\_ Depth: \_\_\_\_\_
10. Number of conductors (wires) being run in conduit? \_\_\_\_\_
11. Size of conductors (wires) being run in conduit? \_\_\_\_\_
12. Type of conductors (wires) being run in conduit? \_\_\_\_\_
13. Type of Direct Burial wire being used? \_\_\_\_\_ Depth: \_\_\_\_\_
14. Distance of conduit to be run? \_\_\_\_\_
15. What size conductors are being used for each of the following:  
General wiring: \_\_\_\_\_ Service entrance: \_\_\_\_\_ Grounding conductor: \_\_\_\_\_
16. Grounding Electrodes to be used: ☐ Ground Rod s ☐ CEE/UFER ☐ Water line
17. New Service / Sub-panel Amps: \_\_\_\_\_

**ELECTRICAL LOAD CALCULATION:**

**General Load:** Square Footage @ 3 watts per sq/ft. = \_\_\_\_\_ watts.

**Indicate load wattages & amperages for each item applicable below:**

First 10,000VA at 100% remainder at 40%. Small appliance and laundry circuit loads 1500VA. Stationary appliance minimum 5000VA.

Description of Equipment	# of Units	Equipment Loads	Description of Equipment	# of Units	Equipment Loads
(Ex. Oven, Clothes Dryer, Furnace, AC etc.)	(Ex.1)	(Ex. 4000VA)			

Total wattage divided by 240

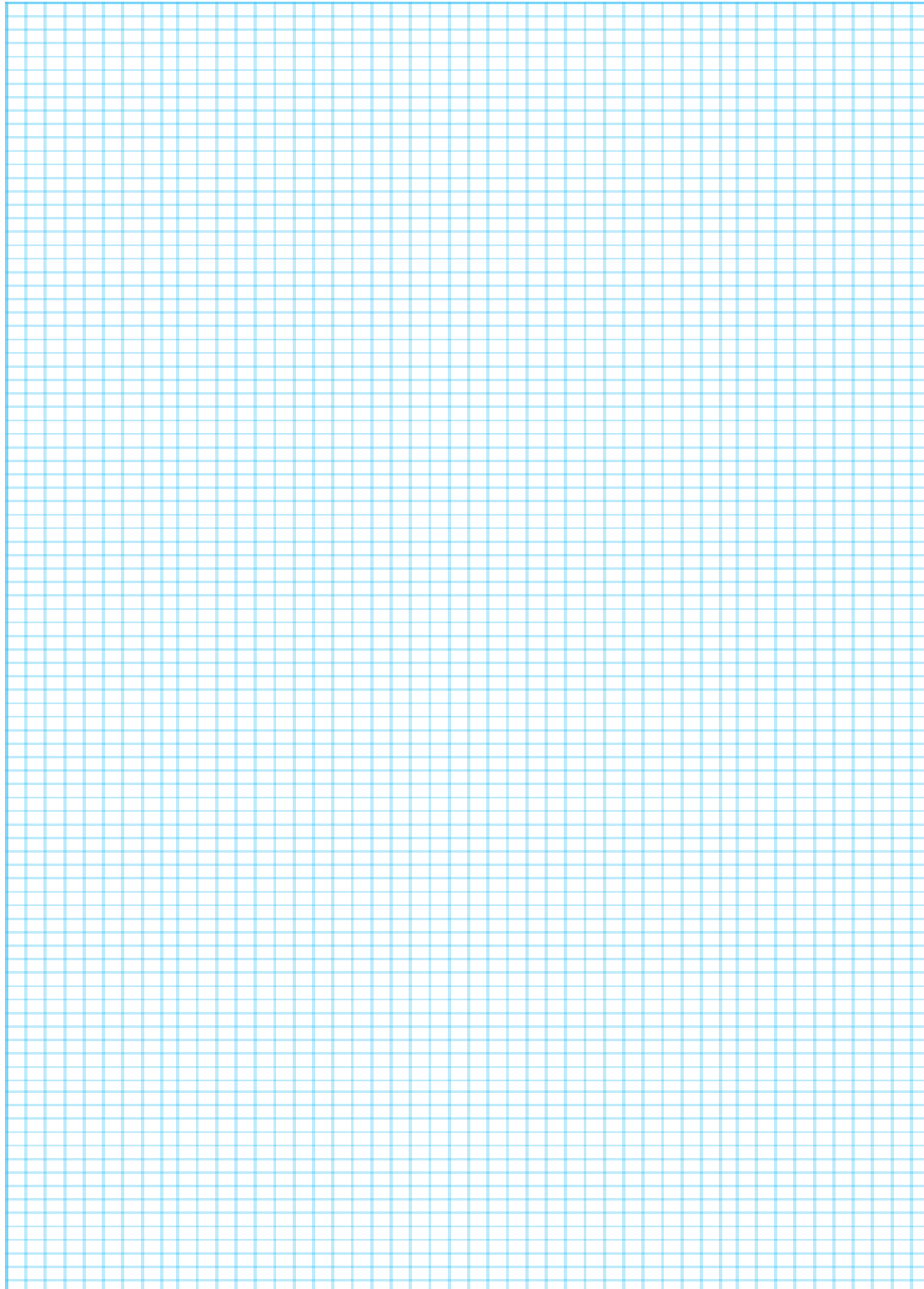
**Total Load Calculation:** \_\_\_\_\_ Amps

Additional information may be required for final approval of electrical systems.

*The following information must be clearly identified on the construction drawings: furnace location, water heater location, vent termination for dryer, furnace and water heater, water meter location.*

**GARAGE/OUTBUILDING PLOT PLAN**

Outline the general shape of your property. Draw proposed building along with your home and any other structures.



**Please provide  
dimensions in feet.**

New building total  
dimensions:

\_\_\_\_\_

Distance to side  
property line:

\_\_\_\_\_

Distance to rear  
property line:

\_\_\_\_\_

Height of finished  
floor above grade at  
each corner of  
building:

\_\_\_\_\_

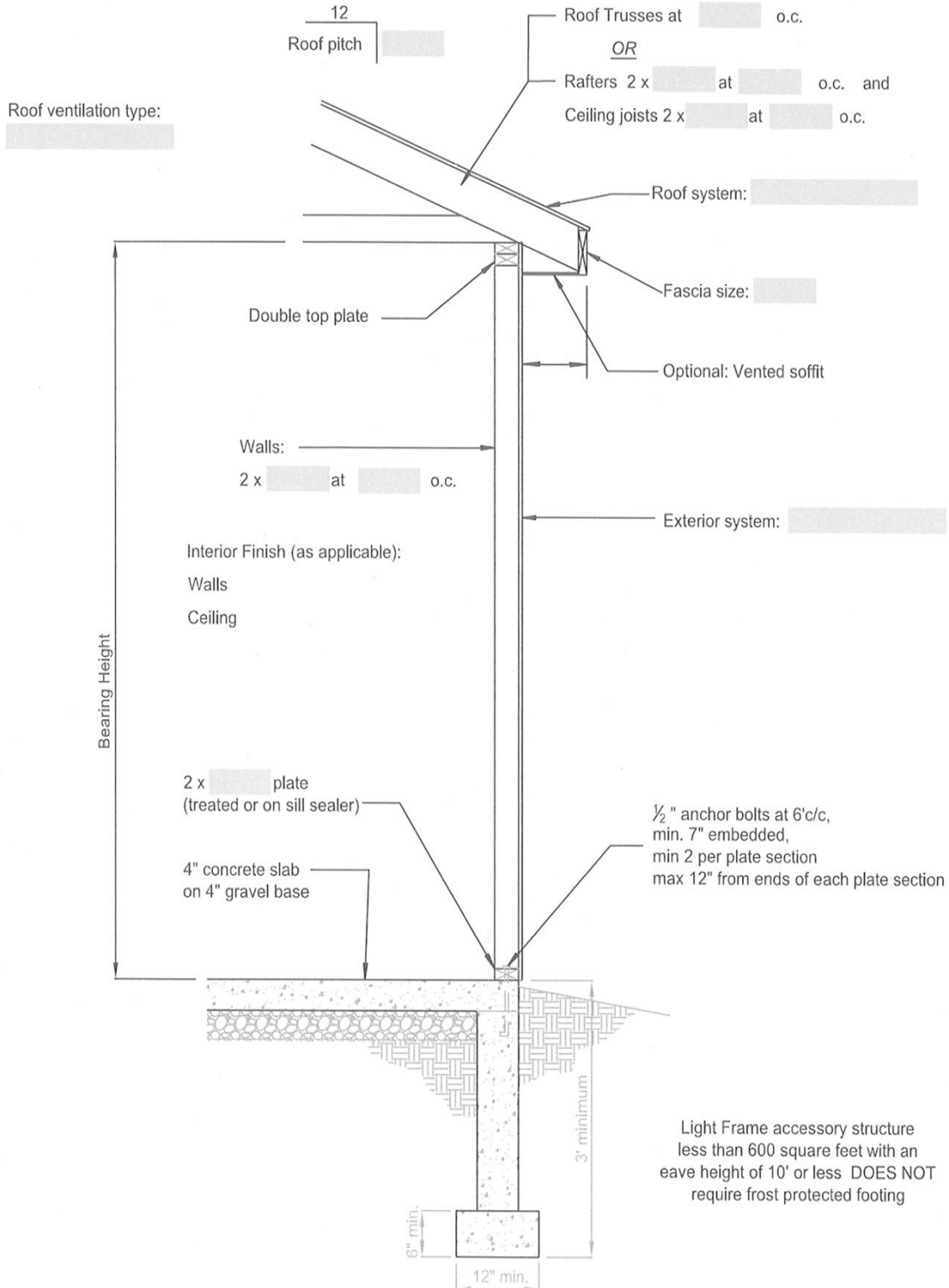
\_\_\_\_\_

\_\_\_\_\_

**Instructions for  
drawing plot  
plan:**

- Give a rough outline of your property.
- Similarly outline the shape of your home, driveway and any accessory structures.
- Show any easements on your property.
- Sketch in new structure location
- Draw flow arrows depicting positive drainage away from structures.
- All structures must be at least 10' apart and 5' from any property line.

**LIGHT FRAME CONSTRUCTION WALL SECTION**



POST FRAME CONSTRUCTION WALL SECTION

