

SUBMITTAL REQUIREMENTS

Building Permit. A building permit is required to install a new deck or porch or to replace or modify an existing deck or porch. Include with your permit application the following additional information:

- A plot plan showing the location of the deck on the property, including lot lines, setbacks and drainage.
- Structural drawings. Options accepted include architectural drawings, manufacturer's structural drawings, or fill in and modify the attached example drawings.
- Estimated cost of construction
- Name of contractor, if applicable. Note: All contractors must be registered with the city.

REVIEW PROCESS

Allow at least three weeks for processing of your application. In addition to Building Division review, the Engineering Division will review for any easements or impediments to drainage. The applicant will be notified when plan review is complete and the permit is ready for pick up.

SPECIFICATIONS

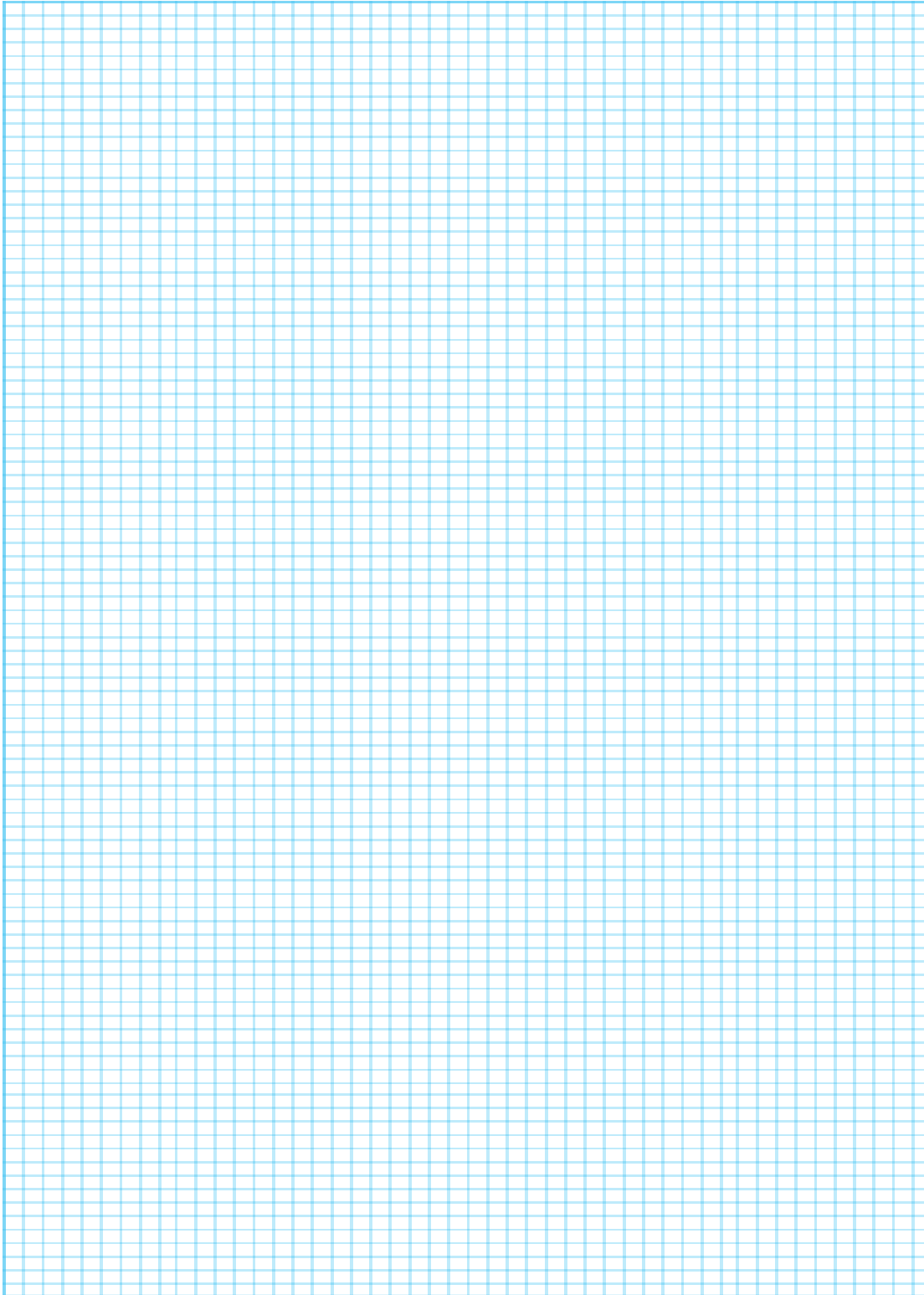
- All decks must comply with applicable Ohio building codes and local zoning ordinances.
- Setback requirements:
 - Decks must be set back a minimum of 5 feet from any lot line.
 - Decks may project a maximum of 10 feet into the required rear yard.
 - Uncovered porches may project a maximum of 5 feet into the required front yard.
 - On corner lots, no deck may be constructed closer than 15 feet of the side street right-of-way line.
- No structures may be constructed in easements. Do not change the grade.
- Weatherproof GFCI required on all decks.
- If underground utilities are present, call 1-800-362-2764 before you dig.

FEES AND INSPECTIONS

- See fees listed on Permit Fee Schedule.
- A minimum 24-hour notice is required to schedule inspections.
- Inspections are required for:
 - Post holes (depth of holes a minimum of 36" & minimum 14" diameter)
 - Rough framing
 - Rough electric (if applicable)
 - Final inspection when project is completed

DECK PLOT PLAN

Draw proposed deck layout here, outlining the general shape of your home and property.



Please
provide
dimensions
in feet.

Deck total
dimensions:

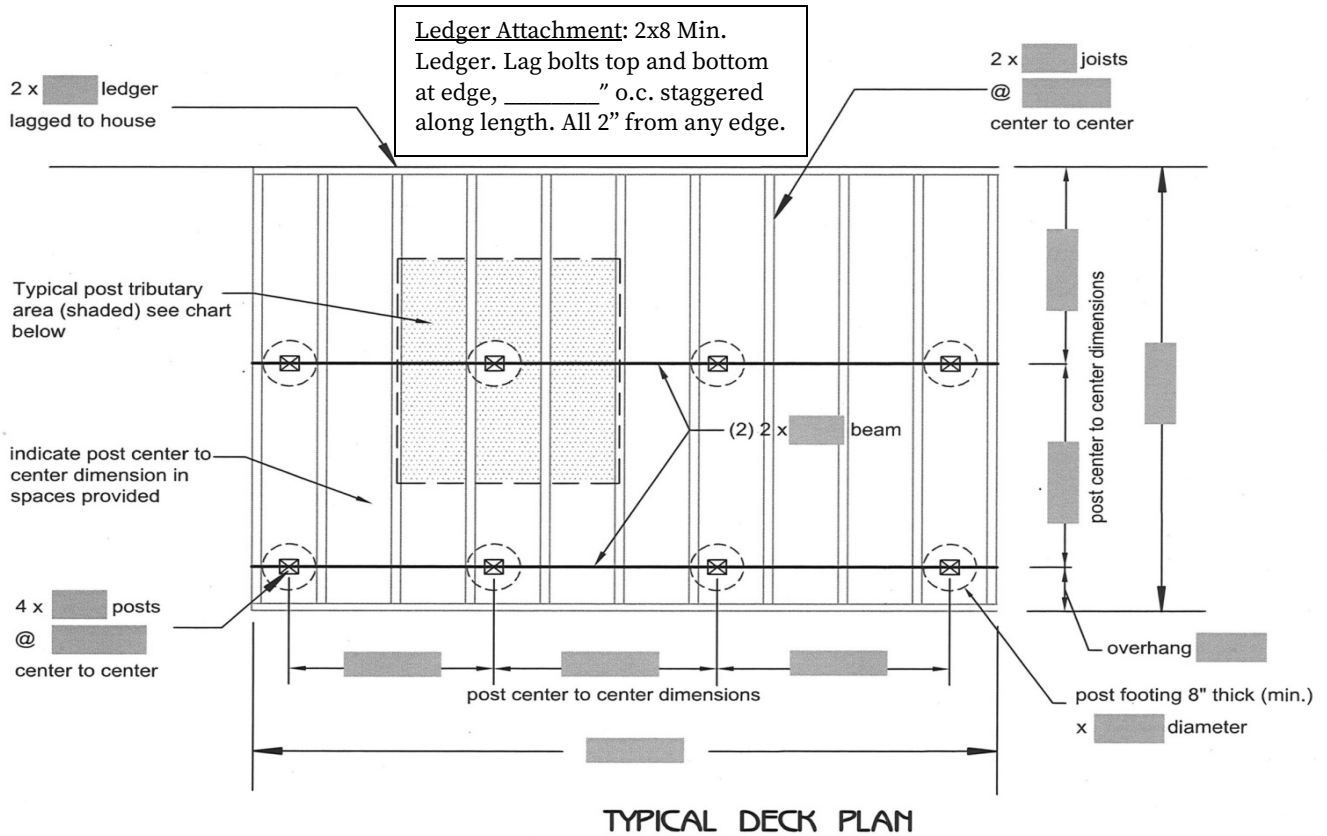
Distance to
side property
line:

Distance to
rear property
line:

Instructions for drawing plot plans:

- Give a rough outline of your property.
- Similarly outline the shape of your home, driveway and any accessory structures.
- Show any easements on your property.
- Draw flow arrows depicting positive drainage away from structures.
- Sketch in deck location

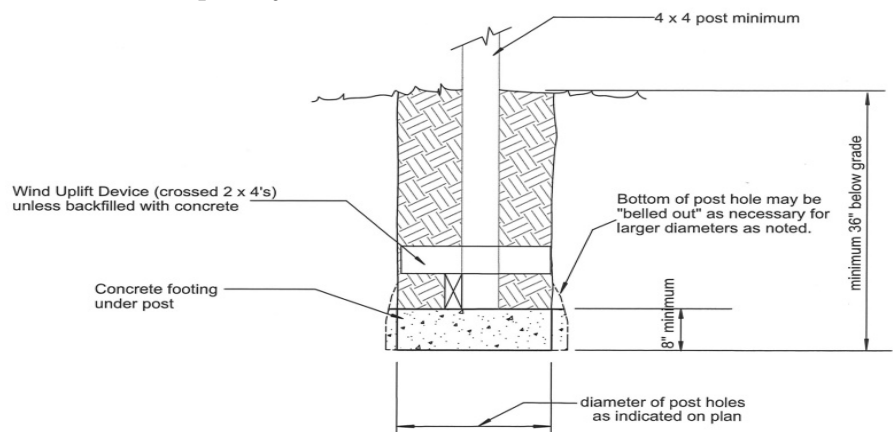
TYPICAL DECK DESIGN DETAILS



Minimum Post Footing	
Tributary Area	Footing Diameter
< 43	14"
< 56	16"
< 70	18"
< 87	20"

NOTE: Tributary Area is the load bearing area attributed to each post.

***Solid blocking is required over all bearing points; the blocking must be at least 60% depth of joists.**

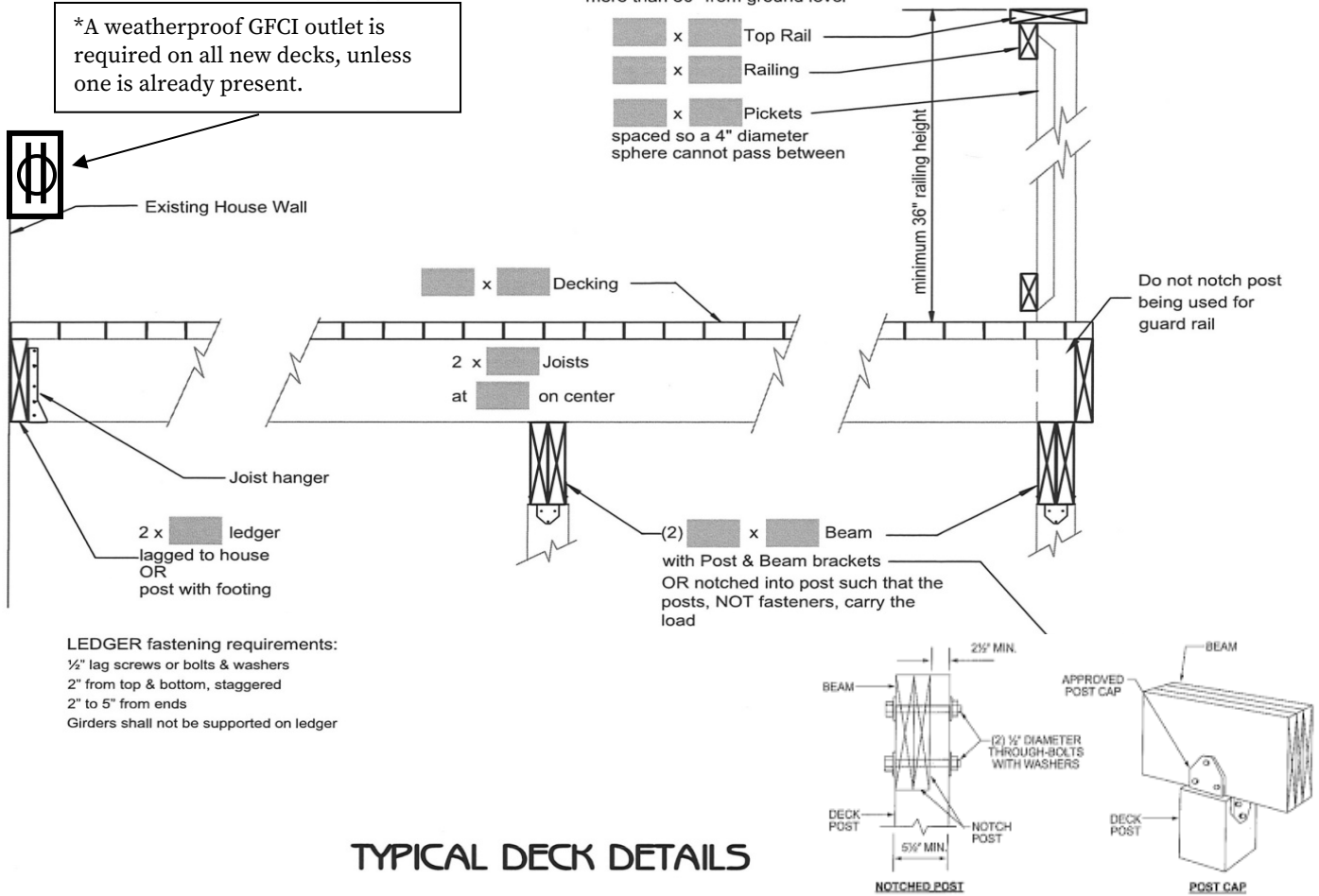


***All construction is to be compliant with the most current edition of the RCO.**

Decks and Porches

PROJECT GUIDE

*A weatherproof GFCI outlet is required on all new decks, unless one is already present.



TYPICAL DECK DETAILS

All Stairs:

- Maximum 8 1/4" Riser Height
- Minimum 9" Tread Depth
- Maximum 3/8" Deviation of Risers of Treads
- Nosing Minimum 3/4" Maximum 1 1/4"

All Railings:

- Handrail required if 4 of more risers, 34-38" in height.
- Guardrail and closed treads required if deck is 30" or more above grade.
- 4" sphere must not be able to pass through space between spindles.
- 6" sphere must not be able to pass through triangular space at stairs.

