

SUBMITTAL REQUIREMENTS

A permit is required to install a new deck or to replace or modify an existing deck. Include with your permit application the following additional information:

- A plot plan showing the location of the deck on the property, including lot lines, setbacks and drainage.
- Structural drawings. Options accepted include architectural drawings, manufacturer's structural drawings, or fill in and modify the attached example drawings.
- Estimated cost of construction
- Name of contractor, if applicable. Note: All contractors must be registered with the City.

REVIEW PROCESS

Allow at least three weeks for processing of your application. In addition to Building Division review, the Engineering Division will review for any easements or impediments to drainage. The applicant will be notified when plan review is complete and the permit is ready for pick up.

SPECIFICATIONS

- All decks must comply with applicable Ohio building codes and local zoning ordinances.
- Deck setback requirements are as follows:
 - Decks must be set back a minimum of 5 feet from any lot line.
 - Decks may project a maximum of 10 feet into the required rear yard.
 - Uncovered porches may project a maximum of 5 feet into the required front yard.
 - On corner lots, no deck may be constructed closer than 15 feet of the side street right-of-way line.
- No structures may be constructed in easements. Do not change the grade.
- Weatherproof GFCI required on all decks.
- If underground utilities are present, call 1-800-362-2764 before you dig.

FEES AND INSPECTIONS

- See fees listed on Residential Building Permit Fees page (website or handout).
- A minimum 24-hour notice is required to schedule inspections.
- Inspections are required for:
 - Post holes (depth of holes a minimum of 36" & minimum 14" diameter)
 - Rough framing
 - Rough electric (if applicable)
 - Final inspection, when project is completed

Residential Application for Plan Approval

BUILDING DIVISION



GENERAL INFORMATION

Construction site address

Permanent parcel number

Contractor

Contractor address

Contractor phone

Contractor email

Property owner

Property owner address

Property owner phone

Property owner email

NEW CONSTRUCTION

DWELLING TYPE: ☐ Single Family ☐ Two Family Energy Code Compliance Method: _____

SQUARE FOOTAGE: Fin. Basement: _____ 1st Fl: _____
2nd Fl: _____ Total: _____

GARAGE: ☐ Attached Garage ☐ Detached Garage ☐ Storage Building
Size: Width: _____ Depth: _____ Sq ft: _____

SUBDIVISION: Sublot #: _____ Subdivision Name: _____
Zoning Dist.: _____ Water Permit #: _____

ADDITIONS & ALTERATIONS

Year Dwelling Built: _____ Additional Sq Ft: _____

☐ Dwelling Addition ☐ Garage Addition ☐ Storage Building Addition
☐ Kitchen Remodel ☐ Basement Remodel ☐ Other: _____

GENERAL PERMITS

☐ Re-Siding ☐ Re-Roofing ☐ Fire Damage Repair ☐ 2nd Water Meter
☐ Demolition ☐ Above Ground Pool ☐ In Ground Pool ☐ Lawn Sprinkler
☐ Gazebo ☐ Other: _____
☐ Fence Style: _____ Height: _____ Length: _____
☐ Deck Size: _____ Sq Ft: _____

SUBCONTRACTORS

All contractors performing work related to this permit must be registered and approved by the Building Division for the current year.

SUBTRADE

CONTRACTOR NAME

Masonry _____
Carpentry _____
Plumbing _____
Electrical _____
HVAC _____
Drywall _____
Excavator _____
Pool Erector _____
Landscaper _____
Other _____

PERMIT FEES

To be calculated by Building Div.

PERMIT: _____

STATE 1%: _____

ADMIN: _____

TOTAL: _____

Residential Application for Plan Approval

BUILDING DIVISION



HVAC

Furnace: <input type="checkbox"/> New <input type="checkbox"/> Replacement Furnace Capacity: _____ BTU's Furnace Fuel Type: <input type="checkbox"/> Natural Gas <input type="checkbox"/> L.P. Gas <input type="checkbox"/> Electric <input type="checkbox"/> Other: _____ Ductwork Type: _____	A/C: <input type="checkbox"/> New <input type="checkbox"/> Replacement A/C Capacity: _____ Tons Condensing Unit Location: <input type="checkbox"/> Rear yard <input type="checkbox"/> Left side yard <input type="checkbox"/> Right side yard	Fireplace: <input type="checkbox"/> New <input type="checkbox"/> Replacement Fuel Type: <input type="checkbox"/> Natural Gas <input type="checkbox"/> L.P. Gas <input type="checkbox"/> Electric <input type="checkbox"/> Other: _____
Gas Meter Location: <input type="checkbox"/> Front yard <input type="checkbox"/> Rear yard <input type="checkbox"/> Left side yard <input type="checkbox"/> Right side yard		

PLUMBING

☐ New ☐ Alteration ☐ Replacement ☐ Service Line

Water Distribution System: ☐ Copper ☐ Pex ☐ PVC / CPVC

Indicate fixture count below:

# of Sinks	
# of Toilets	
# of Tubs/Showers	
# of water connected appliances	

Building Main Drain size: _____

Building Water Service size: _____

Water Heater Fuel Type: ☐ Natural Gas ☐ L.P. Gas

☐ Electric ☐ Other: _____

Water Heater Capacity: _____ BTUs

ELECTRICAL

☐ New ☐ Alteration/Addition ☐ Service Change

Grounding Electrodes to be used: ☐ Ground Rod s ☐ CEE/UFER ☐ Water line **Service Amps:** _____

Indicate load wattages & amperages for each item applicable below:

First 10,000VA at 100% remainder at 40%. Small appliance and laundry circuit loads 1500VA. Stationary appliance minimum 5000VA.

Description of Equipment	# of Units	Equipment Loads	Description of Equipment	# of Units	Equipment Loads
(Ex. Oven, Clothes Dryer, Furnace, AC etc...)	(Ex.1)	(Ex. 12000VA)			

Total Load Calculation: wattage divided by 240 =

Additional information may be required for final approval of electrical systems.

The following information must be clearly identified on the construction drawings: furnace location, water heater location, vent termination for dryer, furnace & water heater, water meter location.

Est. Cost of Construction: _____ **Sidewalk Ordinance Received Date:** _____

Property Owner's Signature: _____ **Date** _____

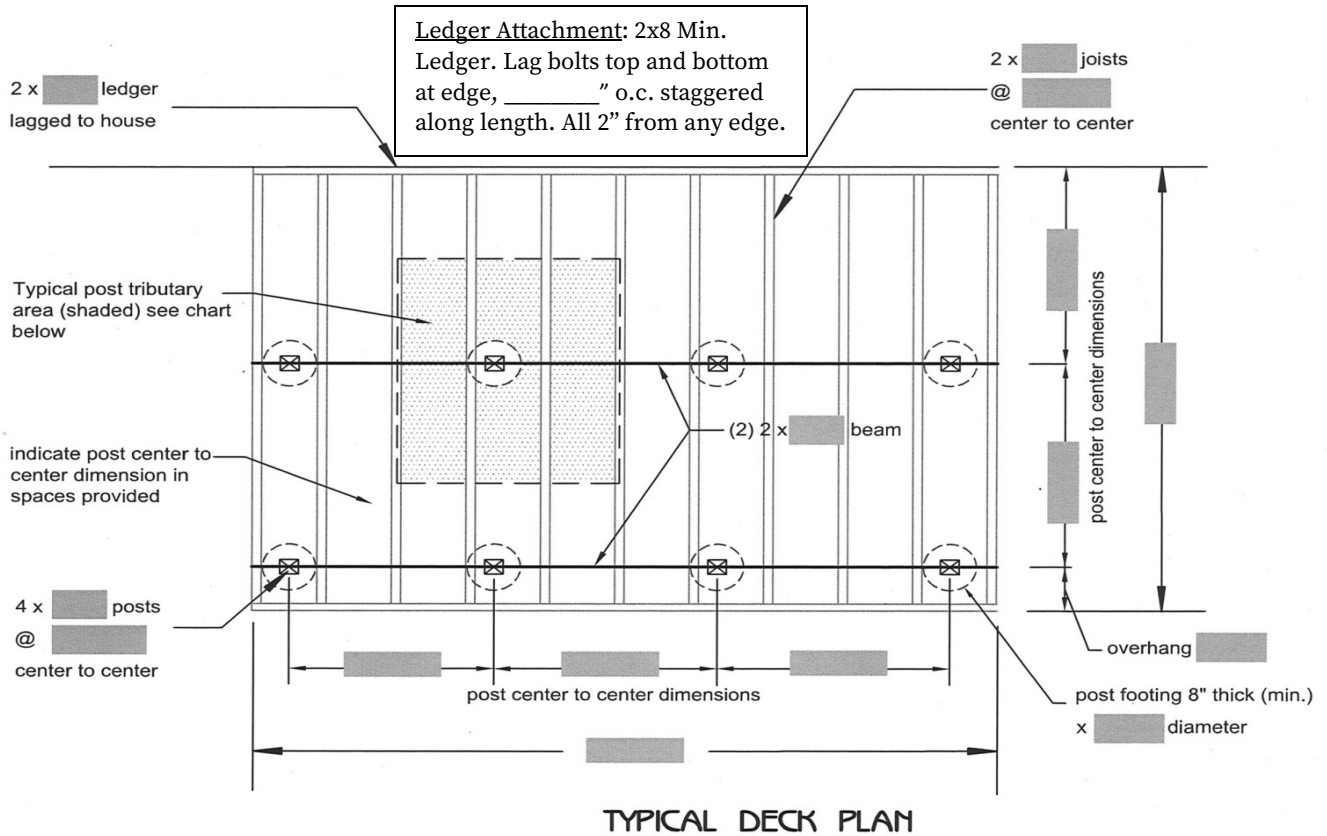
Applicant's Signature: _____ **Date** _____

APPLICATION AUTHORIZATION

Building Division Approval

Date

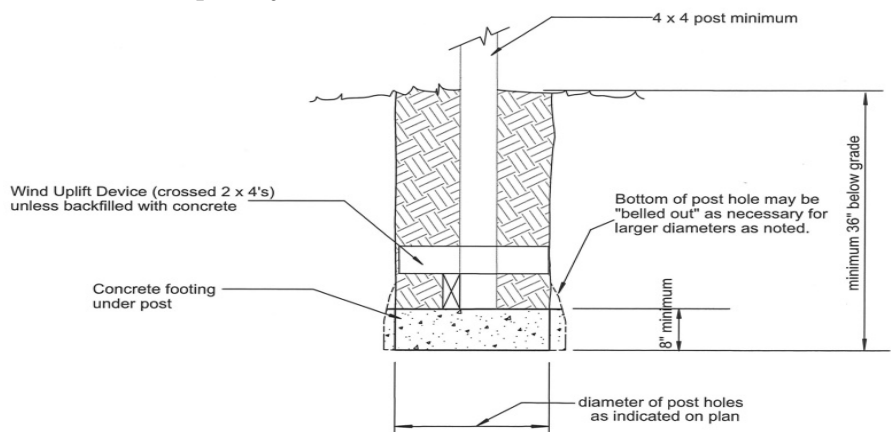
TYPICAL DECK DESIGN DETAILS



Minimum Post Footing	
Tributary Area	Footing Diameter
< 43	14"
< 56	16"
< 70	18"
< 87	20"

NOTE: Tributary Area is the load bearing area attributed to each post.

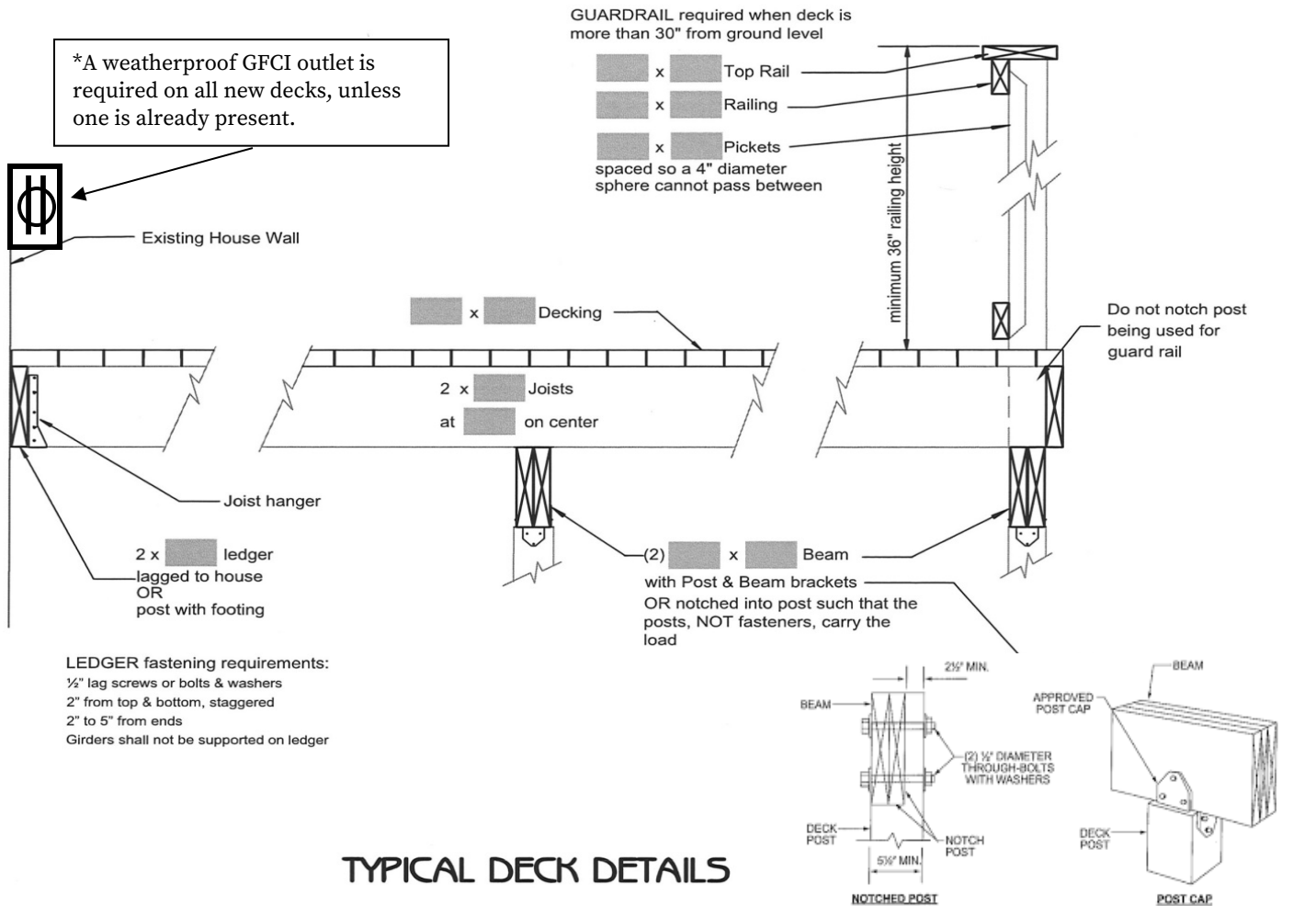
***Solid blocking is required over all bearing points; the blocking must be at least 60% depth of joists.**



***All construction is to be compliant with the most current edition of the RCO.**

Deck Application Package

BUILDING DIVISION

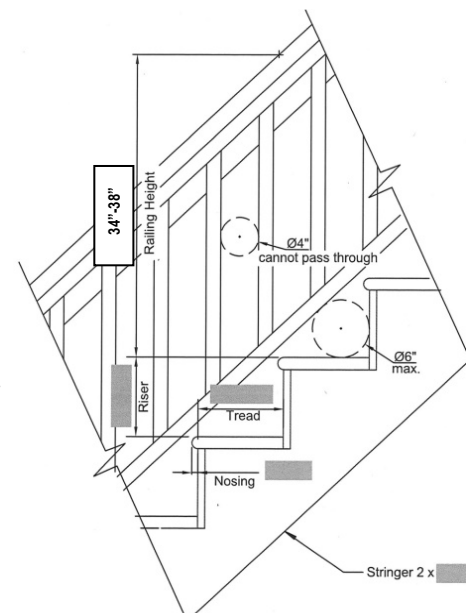


All Stairs:

- Maximum 8 1/4" Riser Height
- Minimum 9" Tread Depth
- Maximum 3/8" Deviation of Risers of Treads
- Nosing Minimum 3/4" Maximum 1 1/4"

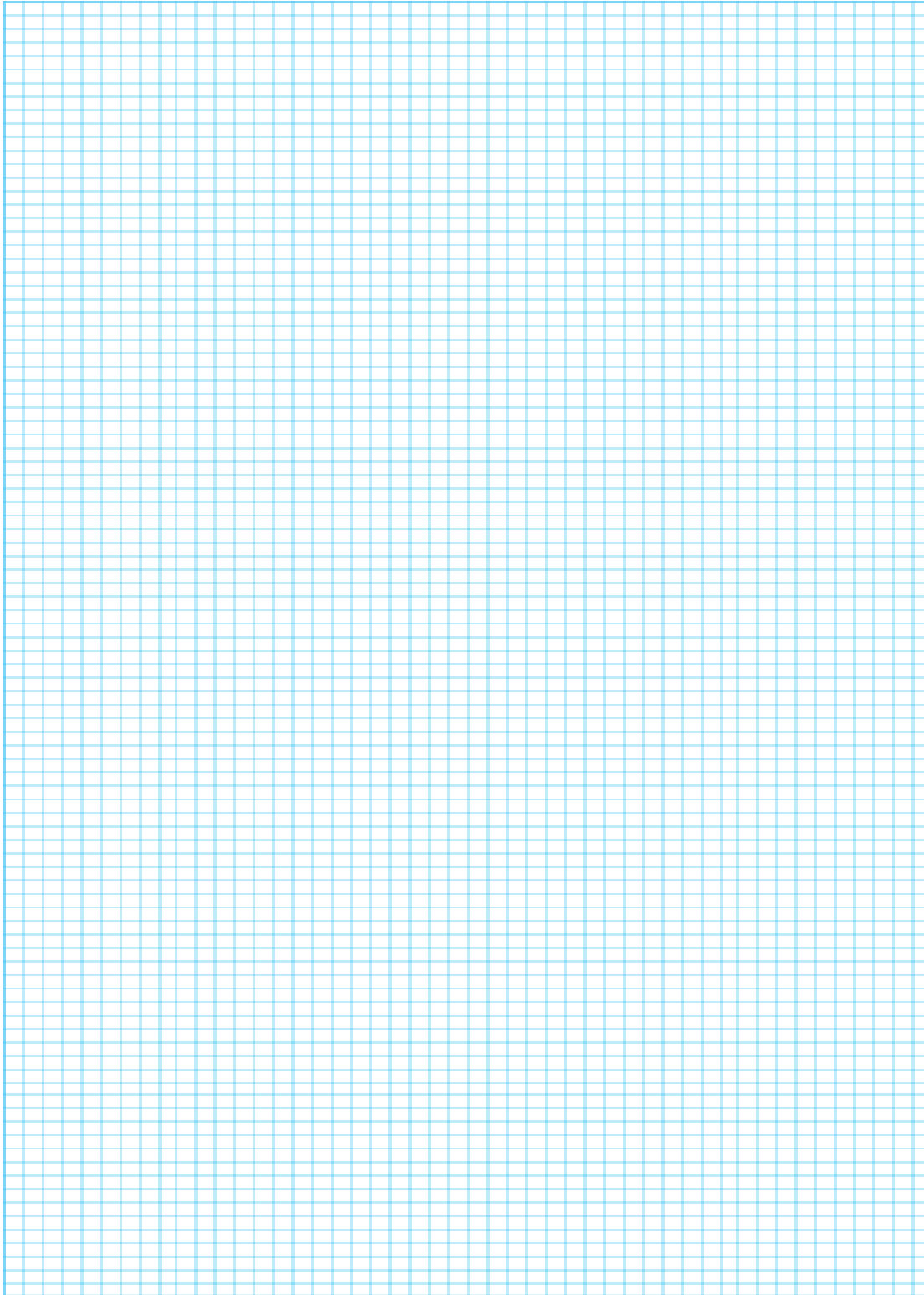
All Railings:

- Handrail required if 4 or more risers, 34-38" in height.
- Guardrail and closed treads required if deck is 30" or more above grade.
- 4" sphere must not be able to pass through space between spindles.
- 6" sphere must not be able to pass through triangular space at stairs.



DECK PLOT PLAN

Draw proposed deck layout here, outlining the general shape of your home and property.



**Please
provide
dimensions
in feet.**

Deck total
dimensions:

Distance to
side property
line:

Distance to
rear property
line:

**Instructions for
drawing plot
plans:**

- Give a rough outline of your property.
- Similarly outline the shape of your home, driveway and any accessory structures.
- Show any easements on your property.
- Draw flow arrows depicting positive drainage away from structures.
- Sketch in deck location