



**THE CITY OF NORTH RIDGEVILLE**  
7307 AVON BELDEN ROAD, NORTH RIDGEVILLE, OHIO 44039  
TELEPHONE: (440) 353-0822 FAX: (440) 353-0823  
**Building Department**



## **INSTRUCTIONS FOR DECKS**

### **REQUIREMENTS FOR PERMIT:**

- Completed application form
- Plot plan showing lot lines, setbacks and drainage.
- Structure drawing of deck (Options accepted: Architectural drawings, manufacturer's structural drawings, or fill in and modify attached example drawings)
- Indicate all materials used, show spacing, height, depth, etc. (Options accepted: Material list showing all materials used)
- Estimated cost of construction.
- Name of contractor, if applicable. (Contractor must be registered with the City of North Ridgeville).

### **REVIEW PROCESS: (allow 3 weeks for processing)**

- Submit application and drawings to Building Department
- Engineering Department may review for any easements and/or drainage blockage.
- Building Department will notify applicant when plan review is complete and permit is ready to be picked up

### **FEES:**

- See fees listed on Residential Building Permit Fees page (website or handout)
  - Base permit fee + fee per 100 sq. ft.
  - Administrative fee.
  - 1% State BBS fee

### **SETBACK OF DECK TO PROPERTY LINES:**

- Maximum 10' into required rear yard
- Minimum 5' from side lot line.
- Uncovered porches maximum 5' into required front yard.

### **CORNER LOT:**

- Not closer than 15' of side street right of way.

### **EASEMENTS:**

- No structures built in easements. (Do not change grade.)

### **INSPECTIONS REQUIRED: (call 24 hours in advance to schedule)**

- Post holes. (Depth of holes a minimum of 36" in concrete)
- Rough Framing
- Rough Electric (as applicable)
- Final Inspections, when project is completed.



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**Building Department**

**RESIDENTIAL PLAN APPROVAL APPLICATION**

CONTRACTOR: \_\_\_\_\_  
 NAME DATE

ADDRESS PHONE

PROPERTY OWNER: \_\_\_\_\_  
 NAME

ADDRESS CITY ZIP PHONE

CONSTRUCTION SITE ADDRESS: \_\_\_\_\_

**(CHECK ALL ACTIVITIES PERTAINING TO THIS APPLICATION)**

**NEW CONSTRUCTION:**  Single Family  Multi-Family # of Units \_\_\_\_\_  
 Square Feet: Finished Basement: \_\_\_\_\_ 1<sup>st</sup> Fl.: \_\_\_\_\_ 2<sup>nd</sup> Fl.: \_\_\_\_\_ Total: \_\_\_\_\_  
 Garage:  Attached  Detached  Storage Building Size: W \_\_\_\_\_ x D \_\_\_\_\_ Square Feet: \_\_\_\_\_  
 Sub Lot # \_\_\_\_\_ Permanent Parcel # \_\_\_\_\_ Water Permit # \_\_\_\_\_  
 Zoning District : \_\_\_\_\_ Subdivision: \_\_\_\_\_ Model / Plan Name: \_\_\_\_\_  
**YARD REQUIREMENTS:** Width at R.O.W. : \_\_\_\_\_ Flood Plain Zone: \_\_\_\_\_

**ADDITION / ALTERATION:** Year Dwelling Built: \_\_\_\_\_ Addition / Alteration Square Footage: \_\_\_\_\_  
 Dwelling Addition  Garage Addition  Storage Bldg. Addition  Kitchen Remodel  Basement Remodel

**GENERAL PERMITS:**

Re-Siding  Re-Roofing  Fire Damage Repair  Second water meter  
 Demo  Above Ground Pool  In Ground Pool  Lawn Sprinkler  
 Gazebo  Other : \_\_\_\_\_  
 Fence Style: \_\_\_\_\_ Size: \_\_\_\_\_  
 Deck Size: \_\_\_\_\_ Square Feet: \_\_\_\_\_

**GENERAL PERMIT FEES:**

PERMIT	\$
STATE 1%	\$
ADMIN.	\$
TOTAL	\$

**HVAC** Heat:  New  Replacement A/C:  New  Replacement Fireplace:  New  Replacement

Condensing Unit Location:  Rear yard  Left side yard  Right side yard  
 Furnace Capacity: \_\_\_\_\_ BTU's Water Heater Capacity: \_\_\_\_\_ BTU's  
 Furnace Fuel Type  Natural Gas  L.P. Gas  Electric  Other \_\_\_\_\_  
 Water Heater Fuel Type  Natural Gas  L.P. Gas  Electric  Other \_\_\_\_\_  
 Air Conditioner Capacity \_\_\_\_\_ Tons Ductwork Type:  Sheet metal  Duct board  
 Gas Meter Location  Front yard  Rear yard  Left side yard  Right side yard  
 Water Meter Location  Front  Rear  Left side  Right side

The following information must be clearly identified on the Construction drawings: **Furnace location, water heater location, vent termination for dryer, furnace & water heater, water meter location (if slab construction)**

**Indicate 2006 IECC compliance method:** \_\_\_\_\_



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**PLUMBING**

New       Alteration       Service Line

*Indicate fixture count below:*

Water Closet \_\_\_\_\_ Floor Drain \_\_\_\_\_ Bidet \_\_\_\_\_ Backflow Device \_\_\_\_\_  
 Lavatory Sink \_\_\_\_\_ Laundry Tub \_\_\_\_\_ Water Heater \_\_\_\_\_ Clothes Washer \_\_\_\_\_  
 Bath Tub \_\_\_\_\_ Dishwasher \_\_\_\_\_ Sewage Grinder \_\_\_\_\_ Sump Pump \_\_\_\_\_  
 Hot Tub \_\_\_\_\_ Shower \_\_\_\_\_ Garbage Disposal \_\_\_\_\_ Other \_\_\_\_\_

Building Main Drain size: \_\_\_\_\_ inches      Building Water Service size: \_\_\_\_\_ inches

Water Distribution System       Copper       PVC / plastic

**ELECTRICAL**

New       Alteration / Addition       Service Change       Service Entrance

Service Amps \_\_\_\_\_

*Indicate load wattages & amperages for each item applicable below:*

Range \_\_\_\_\_ watts      Cook top \_\_\_\_\_ watts      Oven \_\_\_\_\_ watts  
 Electric Water Heater \_\_\_\_\_ watts      Electric Clothes Dryer \_\_\_\_\_ watts      Gas Clothes Dryer \_\_\_\_\_ watts  
 Dishwasher \_\_\_\_\_ watts      Disposal \_\_\_\_\_ watts      Sump Pump \_\_\_\_\_ watts  
 Sewage Ejector \_\_\_\_\_ watts      Water Pump \_\_\_\_\_ watts      \_\_\_\_\_ watts  
 Air Conditioner \_\_\_\_\_ volts      \_\_\_\_\_ amps      Furnace \_\_\_\_\_ volts      \_\_\_\_\_ amps  
 Electric Space Heater \_\_\_\_\_ volts      \_\_\_\_\_ amps      Heat Pump \_\_\_\_\_ volts      \_\_\_\_\_ amps

**TRADE**

**NAME OF CONTRACTOR**

**REGISTERED**

Masonry	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Carpentry	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Plumbing	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Electrical	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
HVAC	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Decorating	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Floor Covering	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Drywall	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Excavator	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Pool Erector	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Landscaper	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Other	_____	<input type="checkbox"/> Yes	<input type="checkbox"/> No

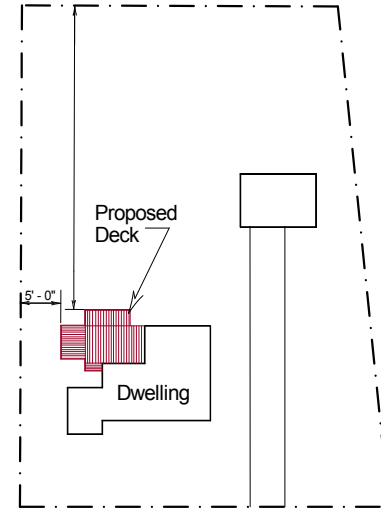
**NOTE:** All contractors submitted regarding this permit, must be registered and approved by the Building Dept. for the current year.

Cost of Construction: \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

Property Owner's Signature \_\_\_\_\_

Sidewalk Ordinance received date: \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

Date: \_\_\_\_\_ Approved: \_\_\_\_\_



Example Plot Plan

**SUBMITTER:**

Please provide similar dimensions to those shown on the Example Plot Plan above.

Clarify dimensions as listed below.

Dimensions should be in feet.

Dimension from Deck :

\_\_\_\_\_ to side property line

\_\_\_\_\_ to rear property line

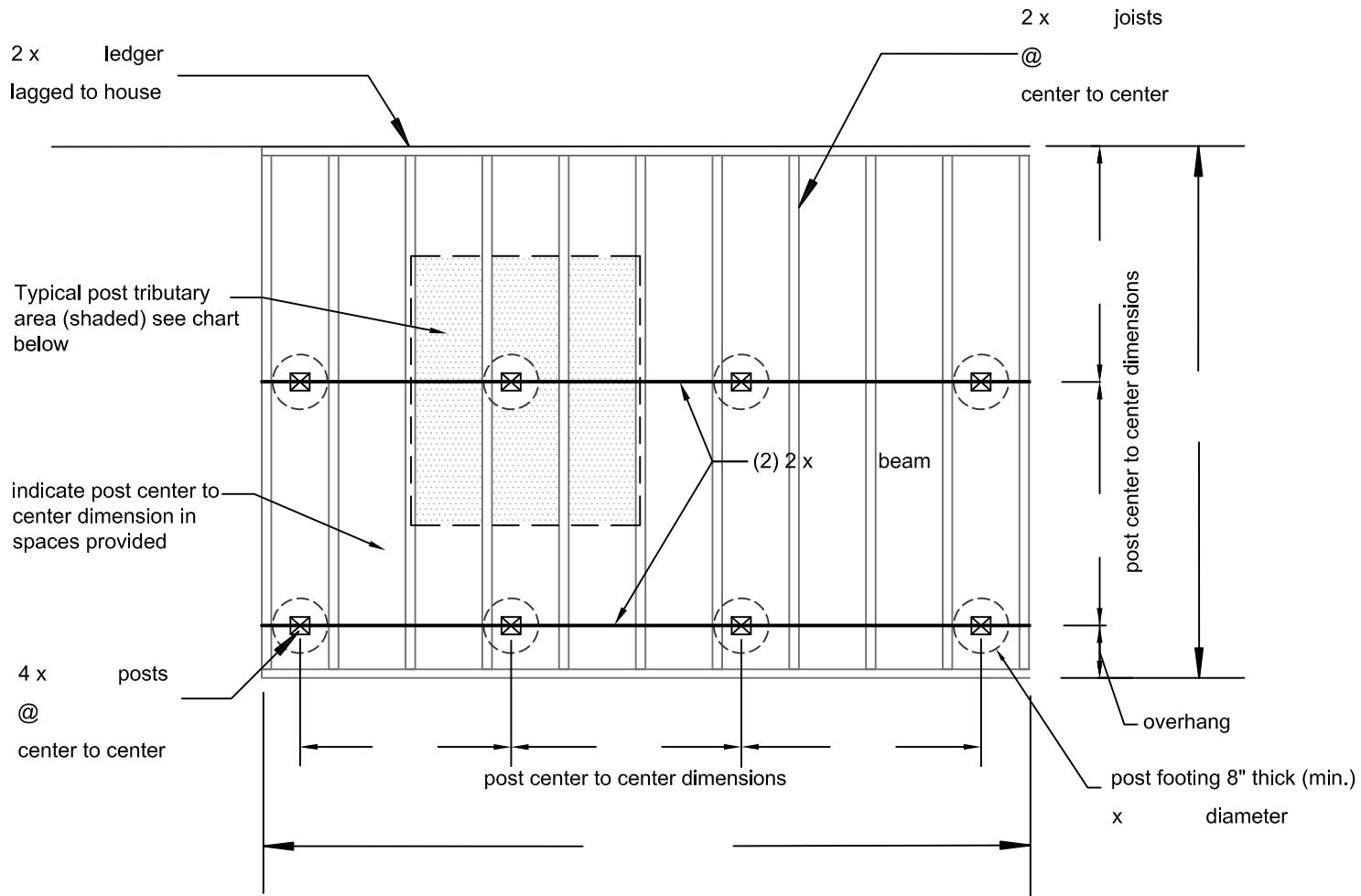
\_\_\_\_\_ to front property line

**PROPOSED DECK**

**PLOT PLAN**

**NORTH  
RIDGEVILLE  
BUILDING  
DEPARTMENT**

Draw Your Plot Plan here



**TYPICAL DECK PLAN**

Minimum Post Footing Size	
Tributary Area	Footing Diameter
14	8"
22	10"
31.6	12"
42.8	14"
56	16"
70.8	18"

NOTE: Tributary Area = load bearing area attributed to each post.  
 1/2 distance between posts or dwelling each direction surrounding post - see shaded area above.

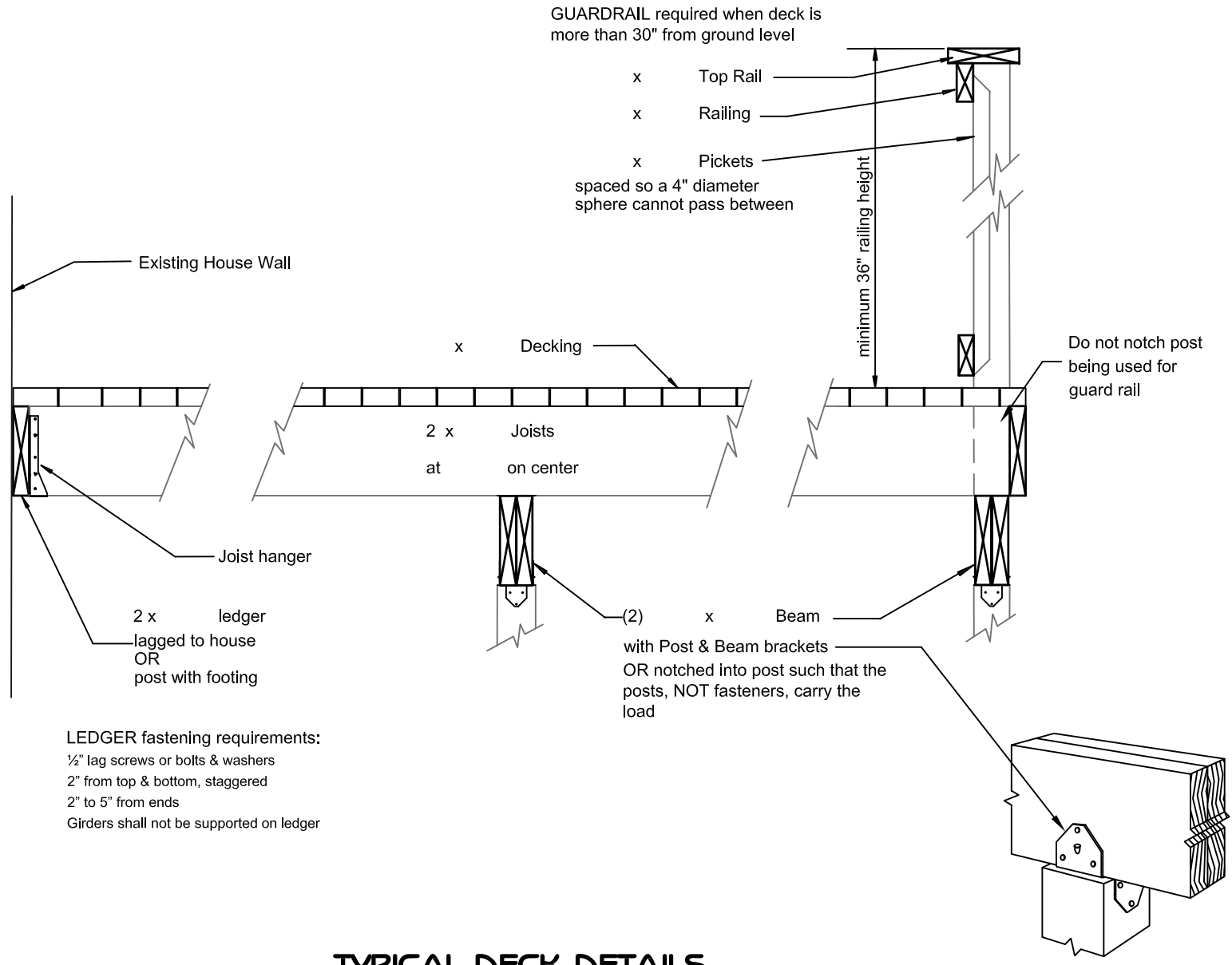
**SUBMITTER** - You may either:

- fill in blanks & dimensions
- modify these sketches as needed
- provide other drawings to describe your project

**TYPICAL DECK CONSTRUCTION**

**SUBMITTER:**  
 Use this drawing as an example for your application.  
 Please fill in blanks and dimensions and/or modify these sketches as needed.

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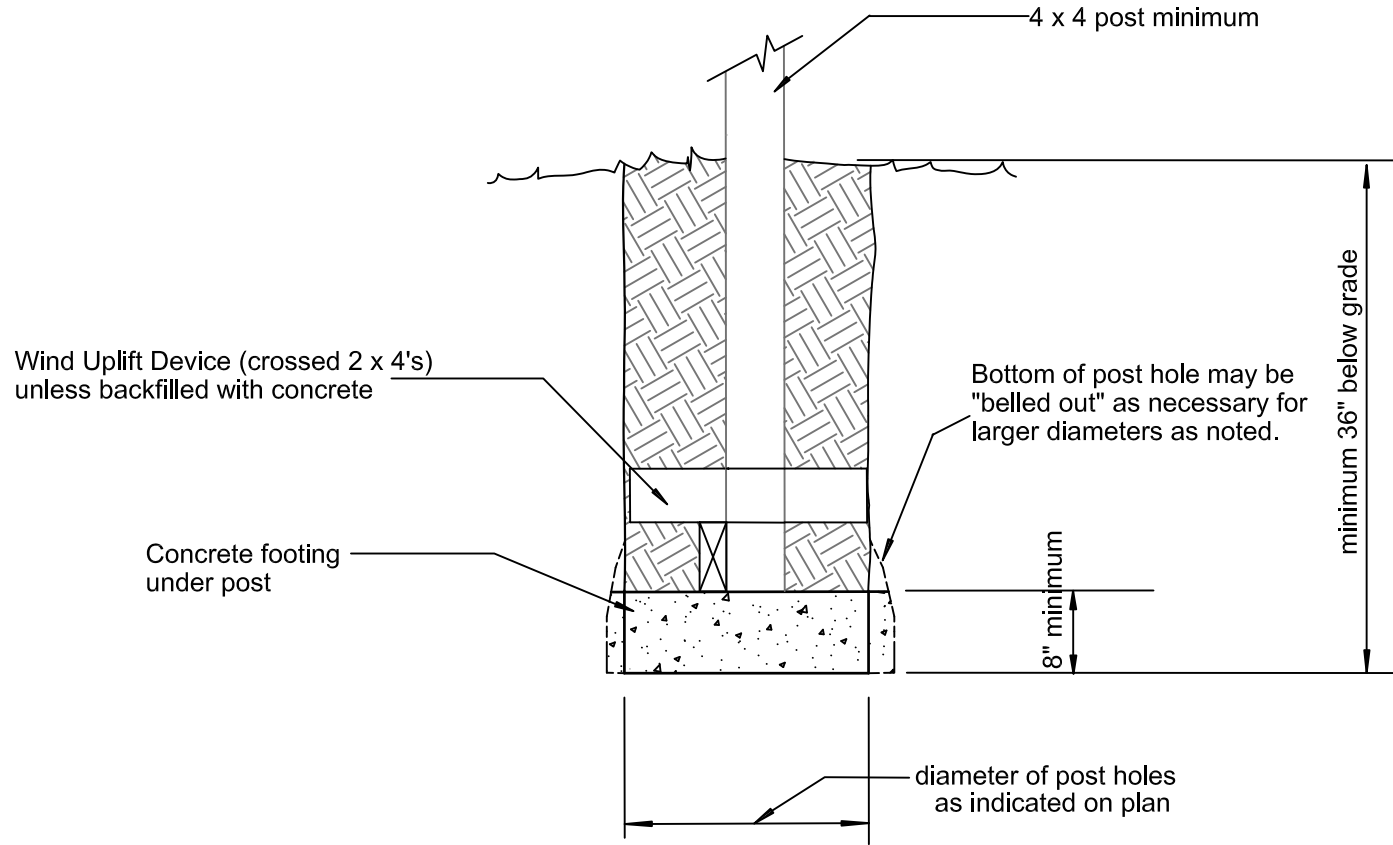


TYPICAL DECK DETAILS

TYPICAL DECK CONSTRUCTION

SUBMITTER:  
 Use this drawing as an example for your application.  
 Please fill in blanks and dimensions and/ or modify these sketches as needed.

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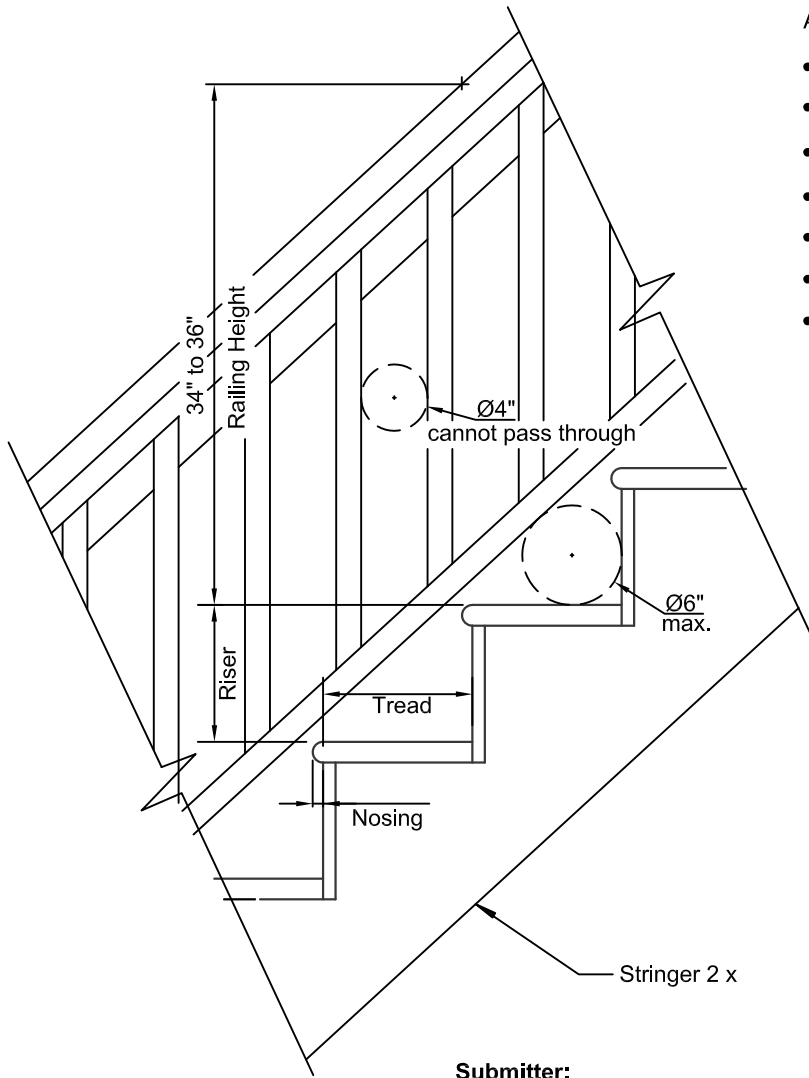


**TYPICAL POST FOOTING DETAIL**

**TYPICAL DECK CONSTRUCTION**

SUBMITTER:  
Use this drawing as an example for your application.

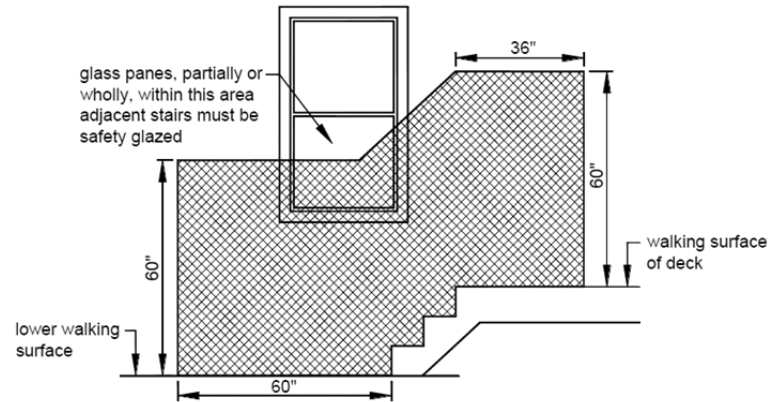
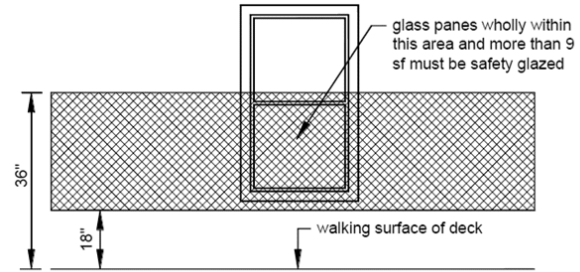
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**Submitter:**  
 • Fill in the blanks shown

**All Stairs:**

- maximum 8¼" riser height
- minimum 9" tread depth
- maximum ¾" deviation of risers or treads
- nosing minimum ¾", maximum 1¼"
- handrail required (where 4 or more risers) 34" - 36" height
- 36" landing required where 3 or more risers
- safety glazing required in any window within 36" of stairs or landings (see sketch below)



**TYPICAL RESIDENTIAL STAIRS**

**TYPICAL RESIDENTIAL STAIRS**

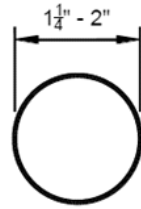
**SUBMITTER:**  
 Please fill in blanks and dimensions as applicable

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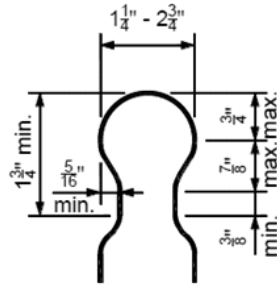


**NONCIRCULAR**



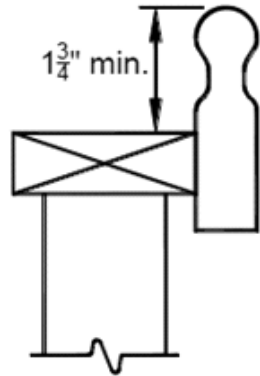
**CIRCULAR**

Perimeter: 4" - 6 1/4"

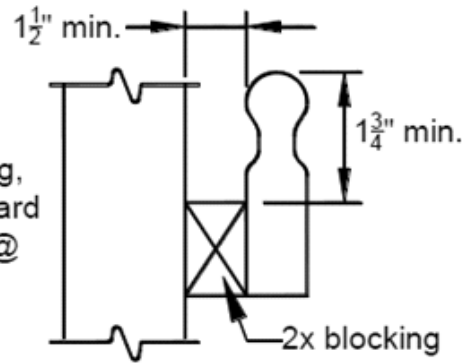


**RECESSED**

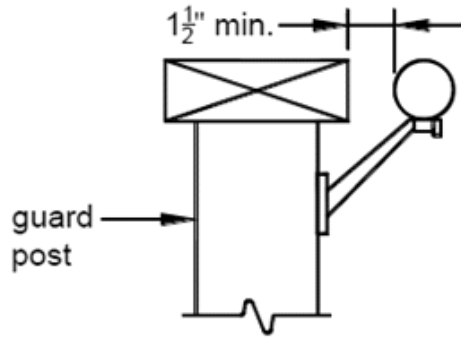
Perimeter > 6 1/4"



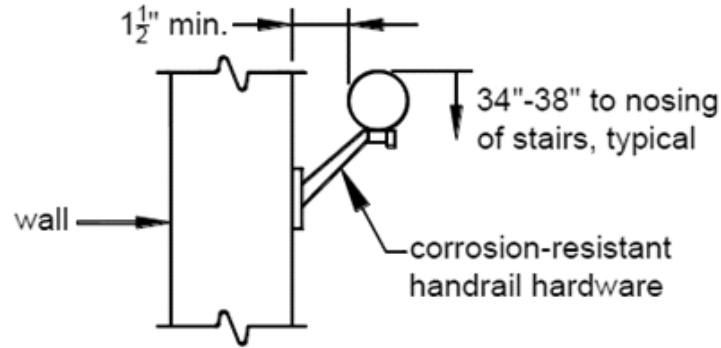
attach blocking,  
handrail to guard  
with 8d nails @  
16" o.c.



2x blocking



guard  
post



34"-38" to nosing  
of stairs, typical

corrosion-resistant  
handrail hardware

**MOUNTED TO GUARD**

**MOUNTED TO WALL**

**TYPICAL RESIDENTIAL HAND RAILS**

SUBMITTER:  
Use this drawing as an example for your application.

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